

ANNEXURE A4

DIEMERSFONTEIN WINE & COUNTRY ESTATE

WELLINGTON

**ARCHITECTURAL DESIGN CONTROLS
FOR THE SMALLHOLDINGS, COURTYARD
AND 'FYNBOS' ERVEN & 5 'UPPER' DAM SITES**

The architects must ensure they have the current edition of this document which must be consulted prior to commencing the design of any property improvements or building proposals

**EDITION 12
JANUARY 2023**

The PURCHASER undertakes to comply with the contents of this Schedule in its entirety. The Purchaser accepts that the contents of these Architectural Design Controls are updated periodically and that it is the PURCHASER's responsibility to ensure he obtains the current edition prior to the commencement of his house design.

Signed at on this day of 20....

Witness:

.....

.....

Purchaser

.....

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ANNEXURE A5:

BUILDING DEPOSITS, SCRUTINY and INSPECTION FEES for ESTATE,
SMALLHOLDINGS, DAM & FYNBOS ERVEN

INTRODUCTION

This document sets out the Architectural Controls with which Owners must comply, and is an addendum to the Diemersfontein Wine & Country Estate Homeowners Association (DFHOA) Constitution.

In terms of the Memorandum of Sale, Owners will be obliged to submit their drawings to the ARC (refer Definitions) for design approval, before submitting them to the local authority. Approval or rejection of the design is at the discretion of the **Architectural Review Committee**.

The DFHOA has the right to vary the requirements contained within this document at its discretion, subject to building plan approval by the Drakenstein Municipality.

The Owner and his Contractor will be subject to the provisions of an **Environmental Management Agreement** (refer to “Definitions”), which will be administered by the DFHOA and which will contain obligations and penalties for any breach of the contract.

In these controls the words “must” and “shall” indicate mandatory provisions, while the word “should” indicate desirable and recommended provisions, which may only be deviated from at the discretion of the **Architectural Review Committee**.

1. BACKGROUND TO DESIGN CRITERIA

This control document is intended to provide continuity of the built fabric; achieved through uniformity of materials and color, by controlling the forms, elements and arrangement of buildings, and by putting emphasis on the existing farm character of the Estate, thereby avoiding a typical suburban residential image.

The following principles should be considered as part of the design process of the courtyard houses:

- Traditional concepts of Cape place-making
- Integrated internal and external spaces
- Integration of the vineyards
- Dominant roof themes
- Spatial quality and proportions of long-houses or ‘solder-huise’
- Distinct courtyards to frame views and protect against weather
- Views of vineyards and the mountains
- High pitched roofs, with possibilities of loft spaces
- Modern interpretation of wall openings
- Communal werf spaces/places of distinct character
- Secure home enclave with the estate

2. BUILDING PLAN SUBMISSION AND APPROVAL

2.1. REGISTERED ARCHITECTURAL PROFESSIONAL

Homeowners may commission an architectural professional of their own choosing; the only proviso being that the architect/technologist must be a currently registered member of the South African Council for the Architectural Profession (SACAP). He/ she need not necessarily have to hold the qualification of PR Arch (Professional Architect), but can also be an Architectural Technologist or an Architectural Draughts person.

2.2. PLANS

Plans must be prepared in accordance with these controls and comply with the Drakenstein Municipal and National Building Regulations, SANS 10400.

2.3. SIGNATURE OF PLANS

Building plans must be submitted to the ARC for aesthetic approval and sign-off prior to final Municipal approval. Both the architect and homeowner must sign the plans that are to be submitted, where possible. If the owner cannot sign the plans, the architect's signature will be taken as binding on the owner.

2.4. ALTERATIONS & ADDITIONS

Plans for any alteration or addition (including the enclosure of Stoeps) must be submitted to the ARC for approval and subsequently submitted to the Local Authority.

2.5. AESTHETIC APPROVAL

The appointed architectural professional, acting as the principal agent, is to submit one electronic copy of the first draft sketch plans, which must include elevations & coverage percentage, together with a site plan and type of fencing to the nominated coordinator of the ARC, who will forward such to the ARC for preliminary scrutiny. (Refer to Annexure A5).

2.6. LOCAL AUTHORITY APPROVAL

On approval of the first draft sketch plans by the ARC, detailed drawings can be prepared for submission to the Drakenstein Municipality, Wellington. **Two hard copy sets and one electronic set, as per the new Municipal regulations, of the final submission plans,** must be submitted to the ARC, that will check, stamp and approve accordingly. One hard copy set will be returned to the architects and one set will be kept on file in the Estate Office.

Please note: The Local Authority will not scrutinize submission drawings not approved by the ARC.

3. DEFINITIONS

BALCONY:	a floor projecting outside a building at a level higher than ground floor level, enclosed only by low walls or railings or by the walls of adjacent rooms, and includes a roof, if any, over such floor or any pillars supporting the roof.
“UPPER DAM” SITES:	as indicated on the Overall Layout Plan and described as Erf Nr 13794, Erf Nr 13795, Erf Nr13796, erf Nr 13797 and Erf Nr 13798.
DECK:	a timber external floor area, which is raised off the ground level and projects out beyond the building perimeter and includes any railings enclosing it. It does not refer to balconies at the first-floor level of a dwelling.

FLOOR SPACE:	in relation to a dwelling, house means the area of every floor of the dwelling (whether or not useable), as measured from the inner face of the exterior walls or similar supports of such dwelling, provided that: where the dwelling consists of more than one storey, total floor space shall be the sum of the floor space of all storeys: and for the purposes of measuring maximum Floor Space, garages, balconies, decks, terraces and verandas shall be excluded.
“FYNBOS” ERVEN:	as indicated on the Overall Layout Plan and described as Erf Nr. 13131, Erf Nr.13132, Erf Nr 13133, Erf nr.13134, Erf Nr 13135, Erf Nr. 13136, Erf Nr 13137, Erf Nr. 13138 Erf Nr 13139, Erf nr.13140 and erf Nr 13141.
GARAGE:	a building used for the housing of motor vehicles, and not a “habitable” room.
TERRACE:	a floor area created on a flat roof over a portion of a storey of a building resulting from the setting back of a portion of the building above such a storey.
VERANDAH:	a covered area or projecting floor outside and immediately adjoining a building at ground floor level and includes both the floor and the roof covering it as well as any low walls or railings enclosing it.
WERF:	Traditionally Cape Farmsteads were centered around a well-defined farmyard, known as a ‘werf’. In this context the ‘werf’ can be described as a shared forecourt to a limited number of houses.
ARCHITECTURAL REVIEW COMMITTEE (ARC):	means the Developer representative, appointed professional architects and H.O.A Trustee representative(s) to review all design proposals.
ENVIRONMENTAL AGREEMENT:	means the document that controls how construction work is to be carried out on the estate.
ENVIRONMENTAL MANAGEMENT PLAN (EMP):	describes mitigation measures in detail, and are prescriptive, identifying specific individuals or organisations responsible for undertaking specific tasks to ensure that impacts on the environment are minimized during construction.
LANDSCAPE CHARACTER & DESIGN CONTROLS DOCUMENT:	means the control document that that describes the hard and soft landscaping on the estate.
NATURAL GROUND LEVEL:	means the ground level as at the date of transfer to the original purchaser.
BUILDING ZONE:	means the zone, as described in the ‘Building Control Plan’, attached to the Memorandum of Sale for the particular erf, in which construction may occur. This implies that no construction, apart from boundary enclosures and low walls may occur outside this zone.



**Overall Layout Plan:
Diemersfontein Farm & Country Estate**

4. GENERAL FORMS AND CONSTRUCTION

Form

The plan shall consist of a set of rectangular forms arranged at right angles to one another, around a courtyard.

There shall be a maximum of 4 components on each site. A single barn building will be allowed, but would have to conform to the restrictions of the Primary Barn as stated below. Smallholding sites may have a mix of one Primary and up to 3 Secondary Barns. The complete construction of all units may be phased over a period of 3 and half years from date of first transfer.

The alignment of the barns shall be parallel to the Building Zone.

Please note: this only applies to the Courtyard Sites.

House forms are to be composed of **Primary** and **Secondary** rectangular forms (Barns).

	PRIMARY	SECONDARY
Width	Maximum 6.5m	Max 5.5m (external dim.)
	Minimum 5.5m	Min 4.0m
Length	At least 1:1.5 (width: length)	At least 1:1.5 (width: length)
	Maximum: 4 times length	Maximum: 5 times length
Height	To ridge max 8.0m from NGL (measured at center of length)	To ridge max 7.0m from NGL <i>To ridge max 5.5m (FYNBOS ERVEN)</i> (measured at center of length)
Attics	Yes	Yes
Balconies	Permitted	Will only be permitted within the courtyard, privacy to be primary consideration; this is applicable to both primary and secondary barns.
Garages	Yes	Yes

No portion of the building other than chimneys may exceed the height restrictions.

Where there is no plinth (see below) the height measured from **finished ground level** to the wall plate or eaves level shall not be higher than 4.75m for Primary forms and 3.5m for Secondary forms measured externally, **and 4.7m measured externally for FYNBOS ERVEN.**

A building line of 4.5m from the cadastral boundary is prescribed for FYNBOS ERVEN.

The height measured from the bottom of the plinth (see no.8 External Works) to the wall plate or eaves level shall not be higher than 5m for Primary forms and 4.5m for Secondary forms measured externally.

No second storey will be permitted (Smallholdings excluded); however, mezzanines in the roof space will be allowed (see diagram 1).

Garages are to be included within the envelope of a primary or secondary 'long- houses' and may not be free-standing outbuildings.

The Owner is responsible for having the erf surveyed by a registered land surveyor, this survey information is to accompany the plan submission.

Please refer: Item 34: Architectural Review and Plan Submission Process

The height restrictions are intended to protect views across the site and to minimize the visual impact of the buildings in the landscape.

Fynbos Erven

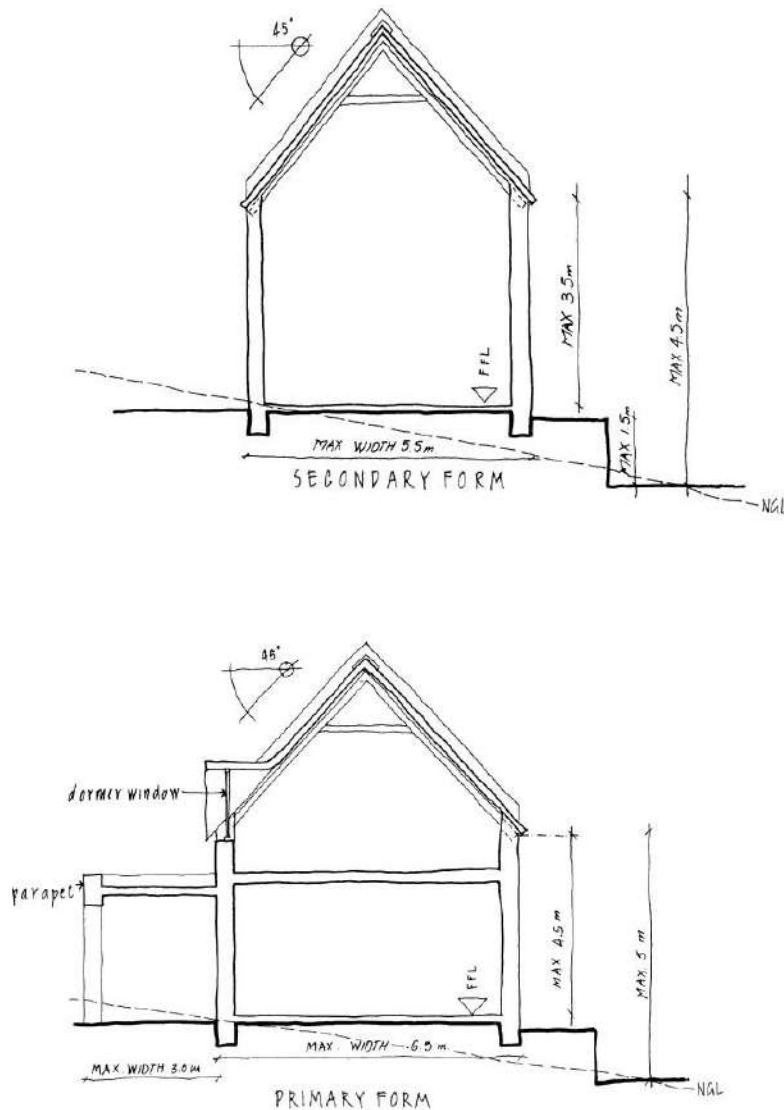
The site line for primary units is a line plotted 7.5m above NGL, plotted parallel to the natural fall of the land. No element is permitted to cross this line. The height above NGL for secondary units is 5.5m.

Attics with the pitched roof, following the traditional Cape Dutch pattern with a door or 'solder trap" on the gable end wall are encouraged.

VARIATIONS ON CONTROLS FOR 5 'UPPER DAM' ERVEN

1. Lean-to roofs will be permitted without having to be hidden behind a
 - i. parapet
2. Habitable rooms permitted under a lean-to roof to minimize proportions of
 - i. buildings.
3. Lean-to patio roof support may be light weight, i.e. timber posts (not
 - i. concrete columns).
4. Barn layouts may be parallel to one another. (instead of right angles)
5. 500m² sites – a maximum building coverage of 300m²
6. Single storey only.
7. A height restriction of 6,5m average on from ridge to NGL, with 7,5m on end gable from apex to NGL.

Diagram 1 & 2: Typical Sections of the Primary and Secondary Buildings



General building control

The dwellings and garages must be located within the **Building Zone** on the individual sites, as identified on the Building Control Plan. However, paved areas on the ground, may project beyond the Building Zone, but will have to be confirmed by the Architectural Review Committee as this cannot interfere with the existing vineyards.

The Floor Space of a dwelling unit is limited to a maximum of **450sqm**. Garages, decks, terraces and verandas are not included in Floor Space; however, their total together with the Floor Spaces shall not exceed **600sqm**.

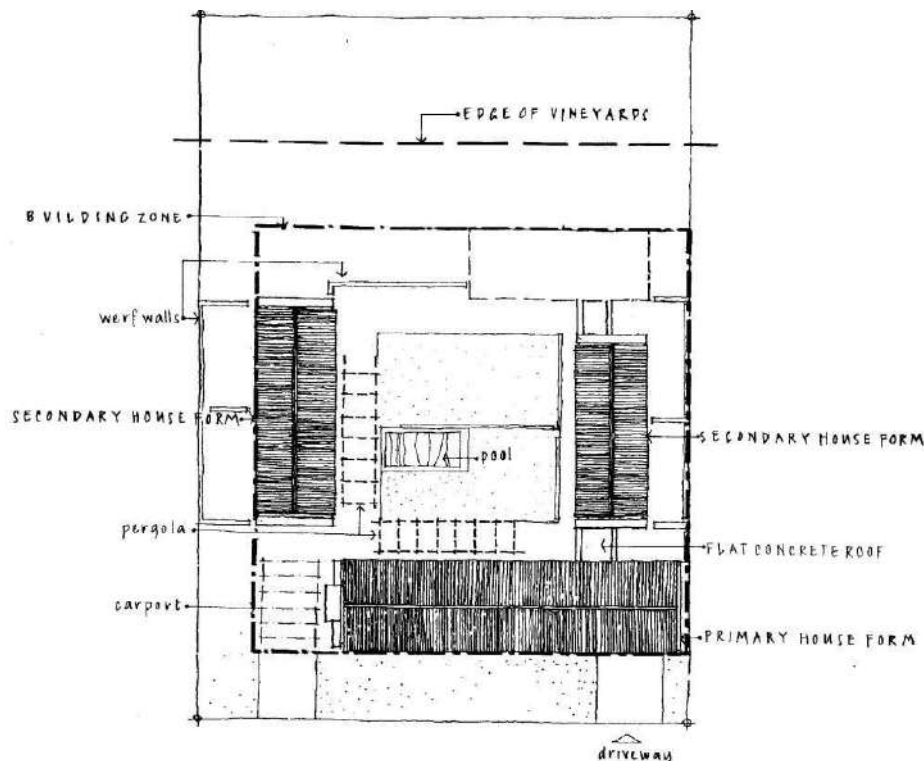
Dwellings shall be restricted to residential use only.

Water, power, telephone & sewers (Smallholdings excluded) will be brought to the edge of the particular erf. Connection to the services must be undertaken by the individual purchaser.

FYNBOS ERVEN
Coverage

A maximum of 25% of the Erf may be developed. A minimum of 25% of the Erf is to be soft landscaped.

Diagram 3: Typical Layout



5. SITE CLEARING AND MAINTENANCE

Please refer to the Environmental Management Plan.

No trees or vegetation outside the Building Zone may be removed without approval of the **Architectural Review Committee**.

Damage to trees and vegetation on any land unit will be subject to penalties in accordance with the **Environmental Management Plan**.

Damage to trees and vegetation on Common Property will be subject to penalties in accordance with the **Environmental Management Plan**.

6. EXTERNAL WALLS

Specific Exclusions

Face brick or bagged brickwork
Decorative plaster moldings or rustication

Specific Inclusions

Plastered brickwork, wood float only
Limited natural or white-washed stone
Quoins or rustication Robust walls with niches are encouraged

Timber elements for FYNBOS ERVEN

Colors: External wall color will be Diemersfontein White no. 1 (one) colour, formulated as follows: PC = 5.0 / PI = 2.5 / PL = 15.0 formulated on a pastel base.

FYNBOS ERVEN

Earthy tones from the CEMCRETE range or similar approved.

7. ROOFS

Primary and **Secondary** plan forms are to be roofed individually, and can be linked with flat roofs or other connecting elements. *(Note: all pitched roofs are to be of the same material, color and pitch – except behind parapets).*

Flat roofs shall be concealed behind a parapet or a pitched roof (see diagram 1) Lean-to roofs shall be concealed behind a parapet.

FYNBOS ERVEN

Top light clear storey windows will be allowed for the ingress of north light. The maximum height of these will be 1 m.

Clear poly-carbonate sheeting or glazing may be used on veranda roofs.

Flat roofed areas are to be finished in natural stone chip, in brown or grey colors. Reflective finishes or aluminum paint are not allowed.

Specific Exclusions

Hipped roofs
Intersection of roofs
Thatch “look-a-likes”
Clay or cement tiles
Fiber Cement (charcoal-grey; to be approved by design committee)
degrees only.

Specific Inclusions

Symmetrical Double pitched roofs
Gable ends
Thatch
Painted small profile corrugated steel & “s” rib
Exposed Lean-to roofs **Pitch of 45**

FYNBOS ERVEN

Slate

Pitch of 28 – 40 degrees

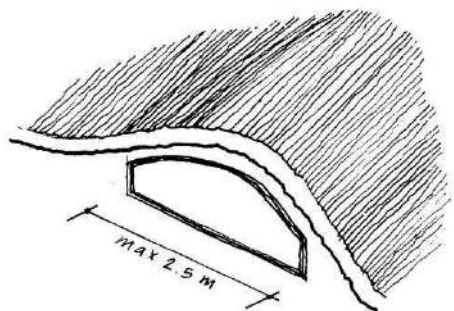
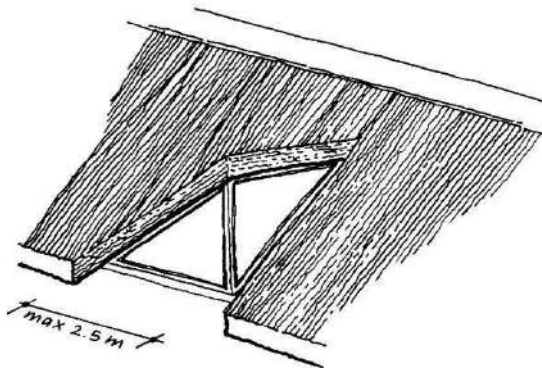
ROOF LIGHTS AND ROOF WINDOWS

Roof lights and roof windows are to be set into the plane of the roof. Max size 780mm x 1400mm, Velux or similar approved. Roof lights are to be installed in a vertical orientation.

Dormer windows should not exceed a width of 2.5m. In the event where doors form part of the dormer structure, these dormers are not to exceed a width of 3m.

Dormer windows are only permitted on the plane of the external walls (see diagram 4).

Diagram 4: Dormer windows



8. EXTERNAL WORKS

No single retaining wall or plinth shall exceed **1,5m** in height. Changes in level exceeding this height will be resolved by terracing.

Materials of retaining walls or plinths are to be natural stone cladding, white washed stone or plastered and painted brickwork. The walls may be built of stone or with stone facings to masonry backup wall. The stone may be laid in 'random' rubble or coursed rubble pattern with recessed cement mortar joints.

Banked or logged earth may also be used at changes of level and may exceed 1,5m in height. These banks shall be between 1:1 and 1:2 gradients (see Landscape Character & Design Controls).

Finishes permitted on walkways and terraces are:

Granite or concrete cobblestones, river stones, clay brick pavers, natural sandstone, slate, gravel, laterite, exposed aggregate concrete and Balau timber.

9. PERIMETER FENCING AND BOUNDARY WALLS

Enclosure of erven will be limited in extent as described below.

Type of walls:

Vineyard Courtyard sites: The common boundary and werf boundary to be of natural stone, white washed stone or plastered and painted brickwork. Perimeter fencing / walling will not be permitted in the area between the boundary furthest from the werf (vineyard side), and the building platform.

Smallholdings & Fynbos Erven: Perimeter fencing / walling will be permitted on the two road/side boundaries of the building platform.

Post & Rail Fencing is permitted; for enclosure the following specifications apply:

- 1,6mm plastic coated wire (in green or charcoal) - top, middle and bottom to support fencing; height 1.2m
- Square or rectangular plastic-coated wire – no diamond mesh will be permitted;
- Traditional rounded “Post and Rail” fencing. No other variations or adaptations of Post & Rail will be accepted.



proposed plastic coated steel wire fence (charcoal) fixed between upright post

overall fence height will be 1.2m (poles to be planted & set in concrete)



example of current post & rail with "Fortinet" wire in between rails



proposed plastic coated steel wire fence (charcoal) fixed between upright post



current post & rail fence at top of the sites

FYNBOS SITES

Enclosure of courtyards set back from boundary line: Masonry walls of either natural stone or plastered brickwork. Minimum height on inside of yard 1,8m above finished yard level, maximum on outside of yard, measured from natural ground level, 2.3m.

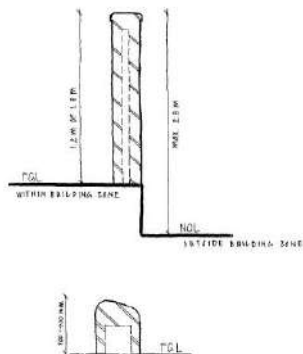


Diagram 5: Typical sections through boundary walls and werf walls

10. GARAGES, CARPORTS, OPEN PARKING & VEHICULAR ACCESS

The design of the houses will determine the exact position of the driveway to each house.

The driveway to the garage may enter the site along the edge adjacent to the werf (Vineyard courtyard sites) and adjacent to the access routes (Smallholdings).

The finish on the driveways shall be clay brick pavers of the following type:
 Corobrick “Wheatstone” pavers generally; Corobrick “Wheatstone” as edging or finish to match the “Werf”;
 Grassblock may be used;
 Grey may be used as ornamental feature, not to exceed more than 50% of the surface.
 No grey cobblestone element in a pattern may exceed one square meter.

Please note: purchasers of the smallholdings must liaise with the **Estate Manager of the Wine Farm component** with regard to the construction of their driveways as these will be traversing the existing vineyards. It is essential that this is planned prior to a contractor commencing on site, as it is envisaged that this will be the builders’ access route to the platform.

The position must be indicated on the plans submitted for review, and must be in the position determined on the Building Controls Plan. Should the owner wish to revise this position, this will be subject to approval by the Architectural Review Committee.

The owner is obliged to construct a 3m wide driveway in accordance with the standard detail and specification issued by the Landscape Character & Design Controls Clause 5), i.e. hard landscaping surfaces, i.e. brick paving, tiling, etc., around houses will not be permitted to cover the entire site. Cumulative paving shall not cover more than 25% of each erf’s area and a minimum of 25% of each erf must be soft landscaping.

The construction of the driveway cannot occur during the harvest times.

Vineyard Courtyard Sites: apart from enclosed garages, all visitors parking is to on the werf area. No covered parking is permitted on the stand.

Smallholdings: a minimum of two visitors’ parking bays and two residents’ bays are to be provided on site. No parking is permitted in the roadway.

Driveways are to be left open to allow vehicles to turn.

The placing of double garage doors on gable ends is discouraged.

Carports may be erected over the parking bays (Smallholdings only) and will be subject to the approval of the Architectural Review Committee. The carport should be integrated with the architectural language of the dwelling.

11. WINDOWS

In the design of fenestration, it is intended there should be large glass areas where the walls give way to glazing, to take advantage of the views, whilst other smaller windows are set within solid wall planes as “punctures/apertures”.

Windows may be any type, and have any form and proportion, except for Victorian style bay windows, which will not be permitted. Opening sections may be of any type.

Specific Exclusions

Fake
Cottage pane, “Winblok” windows
glass

Specific Inclusions

Panes over 320x460mm, thin mullion.
Aluminum or hardwood timber

Colors

FYNBOS ERVEN: WINDOWS & DOORS: Approval of colors selected to compliment new external color, will be considered on application.

Natural timber

Teak stain
Ebony stain

Painted timber

Plascon “Gunpowder” E28-6
Plascon “Steel” E27-6
Plascon “Collingwood” E22-7

Epoxy coated aluminum

Vedoc “Charcoal” – VP 7007
Vedoc “Dark Grey” – VP 7004

uPVC

Fixed frames to be “Charcoal”, dark wood effect,
White, or to the following specifications:

Gloss (G) White (ANP 71001), G. Light Grey (ANP

17035), G. Stone Grey (ANP 17030), G. Light Grey (ANP 1729), G Seal Grey (ANP 1021) & G. Charcoal (ANP 1055).

If an owner prefers a different color to the above, a sample to be submitted to the ARC.

12. DOORS

Specific Exclusions

Ornate and carved doors
Cottage pane

Specific Inclusions

Aluminium or hardwood timber
Aluminium or timber horizontal slatted garage doors

Colors

Natural timber	Teak stain Ebony stain
Painted timber	Plascon “Gunpowder” E28-6 Plascon “Steel” E27-6 Plascon “Collingwood” E22-7
Epoxy coated aluminum	Vedoc “Charcoal” – VP 7007 Vedoc “Dark Grey” – VP 7004
uPVC	Fixed frames to be “Charcoal” or dark wood effect Opening sections (“moving parts”) to be white Sliding doors may match the frames

13. SHUTTERS**Specific Exclusions**

Fake shutters

Specific Inclusions

Sliding or casement
Aluminum or timber (colors as per windows/doors)

14. VERANDAHS, STOEPS, PERGOLAS & BALCONIES**Verandas and Pergolas****Specific Exclusions**

Victorian cast iron “broekie lace”
Period imitations & Colors as per windows/doors ornate design
Colors other than in “Inclusions”

Retractable awnings may be installed under Pergolas. Canvas is to be plain; (no stripes; no bright colors will be allowed).

Specific Inclusions

Gum pole, timber, steel, or aluminum

Balconies

Balconies will only be allowed within the courtyard, other than with the special consent of the Architectural Review Committee in cases where it can be shown that the privacy of the neighbors is not affected. In all cases, the architect should ensure that the position of the balcony does not jeopardise the neighbour’s privacy.

The design of the balcony to be approved by the Architectural Review Committee.

Stoeps may be enclosed according to the following specs only:

Framed or frameless **sliding** stacking doors are permitted.

Louvered **sliding** stacking doors are permitted.

It is important to note that plans to enclose a stoep must be submitted to the ARC and the Building Control Office of the Drakenstein Municipality to ensure compliance with the National Building Regulations: an ‘enclosed stoep’ automatically becomes an additional room.

15. TIMBER DECKS

The maximum height of deck supports shall be 400mm above finished ground level. Supports may be of the following types: -

timber posts (double or single) steel posts
plastered masonry or natural stone piers

16. BALUSTRADES

Specific Exclusions

Victorian, ornate design

Specific Inclusions

Simple, in timber, masonry or steel

17. ROLLER BLINDS

The only type allowed is the SOLARA OUTPERFORM 95; COLOUR 3500 P-001 LINEN. No blinds with inserted plastic 'windows' will be allowed. Only roller blinds supported by fixed railing will be allowed.

18. WINE CELLARS

Wine cellars are encouraged to be part of the design of the dwellings.

Any air-conditioner plant and equipment for the wine cellar must be positioned out of sight, preferably in a yard. The noise levels of the plant should be controlled.

19. UTILITY AREAS

Laundry and refuse storage should remain fully concealed within yards.

20. RAINWATER GOODS, WASTE PIPES & CHIMNEY FLUES

All to be aluminium or pre-coated galvanised mild steel. Colours are to blend with the roof. No gutters to be installed on thatch houses.

All drainage pipes except for low-level stub stacks are to be concealed within walls, unless located within enclosed courtyards.

21. STORM WATER CONTROLS

Storm water runoff is to be controlled in order to avoid soil erosion. All details of storm water disposal, including paving and landscaping, are to be clearly stated in the building plans.

Where gutters are not used, storm water runoff must be dealt with in an alternative manner. Gutters generally should be fitted with mesh guards to prevent leaf matter collecting.

22. SECURITY ELEMENTS

Externally mounted burglar bars and security gates will not be permitted.

23. FIRE PRECAUTIONS

Owners should familiarise themselves with the position of hydrants and hose reels on the site and with any rules and procedures laid down by the DFHOA.

The water supply to each erf shall be a **22mm** connection. This must be upgraded by the owner to a 40mm connection should the roof be thatch.

All owners with thatched roofs **must** install sprinkler irrigation systems on the area surrounding the house, and on the roof. These should be linked to a centralised system. Any PVC pipe work for these systems should be buried a minimum of 400mm deep. System is to be of specialist design.

Gutters may not be installed with thatch roofs: the leaf matter that can collect is a fire hazard.

24. SIGNAGE

No illuminated signage will be permitted.

House numbers: The prescribed size is (175 mm x 60 mm), and should be available at local hardware shops.

Material and colour: Silver or black aluminium, or brass.

Signage to be positioned next to the main entrance door 1800mm above finished floor level or on a masonry post as per below examples.



25. TV AERIALS & SATELLITE DISHES

Antennae should be fitted in the roof space where possible, and if not, should not exceed 1.8m in height.

Satellite dishes should be fitted as discreetly as possible and must be indicated on the plan submission.

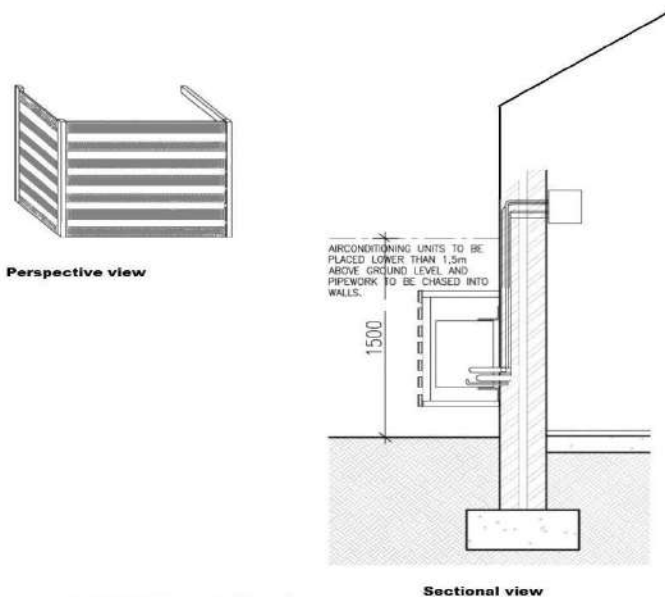
26. AIR-CONDITIONING PLANTS

Air-conditioning units must be well concealed and not visible from the street.

Where the units are installed at the First floor, external condenser units must be installed at ground level. Units must preferably be mounted and contained within the service yard, but if not, must be concealed.

The proposed material to be used are sections of aluminium painted (or epoxy) the colour of the house, or alternatively Everite Flexit board (same material as the sheet directly below the edge of a roof used to mount gutters against), also painted as above. Whether aluminium or Flexit, all sections must be mounted against a light steel frame which is secured to the walls. The steel frame should be painted to match the walls.

Proposed air-con screening device



Actual installation example



Where the air-conditioning unit is positioned within a yard i.e. not visible from any view, there is no requirement to employ the screening device. All ducting must be concealed within the external wall and may not be concealed within a duct painted wall colour. Condenser units placed on flat roof structures must be concealed from street level behind a parapet wall.

The positioning of the condenser unit is to be approved by the ARC prior to installation.

Landscaped screening will be reviewed only in specific circumstances. No noisy plant will be permitted.

Breeze-air (or similar) central air conditioning units will be considered on application and is subject to approval by discretion of Diemersfontein ARC (location and method of screening to be included.)

Units must be discreetly located and to be screened as far as possible by adjacent roofs. Should it be a roof top installation unit, it may not be visible from the street view; additional screens will be required.

- a) Aircons of New Builds to be included in the initial planning progress; aircon piping must be concealed within the external walls.
- b) If air conditioners are installed as an Addition or Alteration after the building has been completed and it is no longer possible to accommodate the piping within the cavity walls, all trunking to go up to the underside of facias (please refer picture sample below).



- c) In addition, in order for the air conditioning condenser units to be compliant, the following is required:
 - Ensure that any horizontal trunking is installed, not exceeding 500 mm above ground level as far as possible, in order to minimize visible trunking, leaving only vertical trunking exposed;
 - Paint the trunking the same colour as the exterior wall paint colour;
 - Screen the condenser units to Design Control specifications, should they not be completely hidden from street view by either Yard Walls or Boundary Walls.
- d) Owners may contact the Building Control Officer for the service provider in Wellington who manufacturers the screens according to ARC specifications.

27. SWIMMING POOLS & JACUZZIS

The shape of the swimming pool should be rectilinear.

Backwash from the filter is to be dealt with in accordance with Local Authority regulations and must not run off into the vineyards or roadways.

Swimming pool pumps must be screened from view.

Please note: The position of the pump is subject to approval by the Architectural Review Committee.

Pool enclosures must comply with National Building Regulations SABS 0400/DD4.

Betafence Betaview swimming pool enclosure, with a height restriction of 1200mm, will be allowed.

Swimming pool fences need to be approved by the Architectural Review Committee.

Colour: Plascon “Midnight” E26-7/Plascon “Shutter” C25-7. Swimming Pools may not be constructed outside the building zone.

Plan: The pool locality to be shown on all plans, and must be approved by ARC and Drakenstein Municipality.

28. GREY WATER SYSTEMS

Grey water systems are encouraged and where utilised, must be incorporated into the design of the house. Any storage tanks must be concealed within the service yard or buried and may not be visible from the street. Where it is not possible at all, soft screening with fast-growing climbing plants on a metal trellise or framework or trees are required.

29. RAINWATER TANKS

Rainwater harvesting tanks and borehole tanks are allowed as close to the main building as possible and concealed from streetscape view; either with screens as per the airconditioner screening specifications (please refer Clause 26) or if the intention is to use shrubs or trees; they must be of a fast -growing type and well-maintained at all times, and the tank to be screened in any case until fully concealed by shrubbery/trees.

Shape: Tanks may be round, square or rectangular.

Colour: to be Charcoal = *Charcoal & Stormy Sky* **or** Tan = *Beige / Khaki Brown* / **or** *Winter Grass* as per JOJO website.

If the house is rented out, the owners of the house must mandate the installation.

Please note: a plan showing the tank’s locality to the house to be submitted to the ARC. The applicant & professional must submit site plan / floor plan elevation(s) for ARC and Drakenstein Municipal approval.

30. SOLAR & PHOTO VOLTAIC (PV) INSTALLATIONS

An application for the installation and placement of solar panels used for the generation of hot water or electricity, or any other external mounted panels, must be submitted for scrutiny and authorisation by the ARC, prior to installation thereof.

A Letter of Approval will be issued which must be included in the final submission to Drakenstein Municipality for their approval.

Please note: solar panels are allowed in terms of National Building Regulations in order to augment the provision of electricity.

Each application will be adjudicated in terms of its suggested size and proposed positioning.

It must be stressed that the Solar/PV installation must be executed as per best electrical practice and compliance and be aesthetically pleasing in all aspects and from all angles. It is imperative that an electrical CoC (Certificate of Compliance) be issued by a registered electrician once the system has been completed and commissioned. It remains to owner's responsibility to obtain Drakenstein approval, as is required.

New Buildings

An application showing the solar/PV panels' locality on the roof is to be included on the plans for ARC and Drakenstein Municipal approval as listed in paragraph 1-7 below. The ARC approved plans are to be submitted as part of the standard Drakenstein building application process.

Existing Buildings / Additions and Alterations

Installation of solar and PV panels and their placement must also be authorized by ARC. A Letter of Approval for this addition will be issued for submission to Drakenstein Municipality – it is a municipal requirement.

1. To scale colour drawings (by an architectural professional) of the proposed installation must be submitted, including Elevations, Site and Roof Plans, which indicate the position of the panels on the roof area; as well as specifications of the proposed installation. Drawings must be submitted digitally to diemersfonteinarc@gmail.com AND in hard copy (two sets in colour and to scale), prior to the next scheduled ARC meeting, at which it will be reviewed and feedback provided afterwards and in due course. (See example Diagram A, pg 23).
2. Panels, including frames, should preferably be **all black**. Aluminium framed **black** panels will also be acceptable. Panels are to be non-reflective. No blue panels will be allowed.
3. Panels must be rectangular in design & shape and consist of either flatbed or evacuated tube type panels. Solar panels with a built-in reservoir / geyser on top are NOT PERMITTED.
4. Flat Roofs: Solar/PV panels must either be placed flat or at a low angle of between 10 to 18 degrees on Garage/flat roofs, concealed behind parapet walls. Tilted panels on flat roofs are only allowed provided that they do not show above the parapets and are completely hidden from view. **No exceptions will be allowed.** (Please refer sketches on p.24)
5. Pitched Roofs: Solar panels must be installed at the same angle as the roof pitch.
6. Panel placement on the roof area needs to be symmetrical and aesthetically pleasing.

- Cable runs must be enclosed in trunking and be concealed, or as unobtrusive as possible, by mounting them either under the gutter structure, at ground level or buried in a trench (see photo example B and C below). Trunking should be painted as per the ARC guideline paint colour to match the walls of the structure. Horizontal runs of cabling/trunking across a gable are not allowed and must be as unobtrusive as possible, fixed to the underside of the fascia.

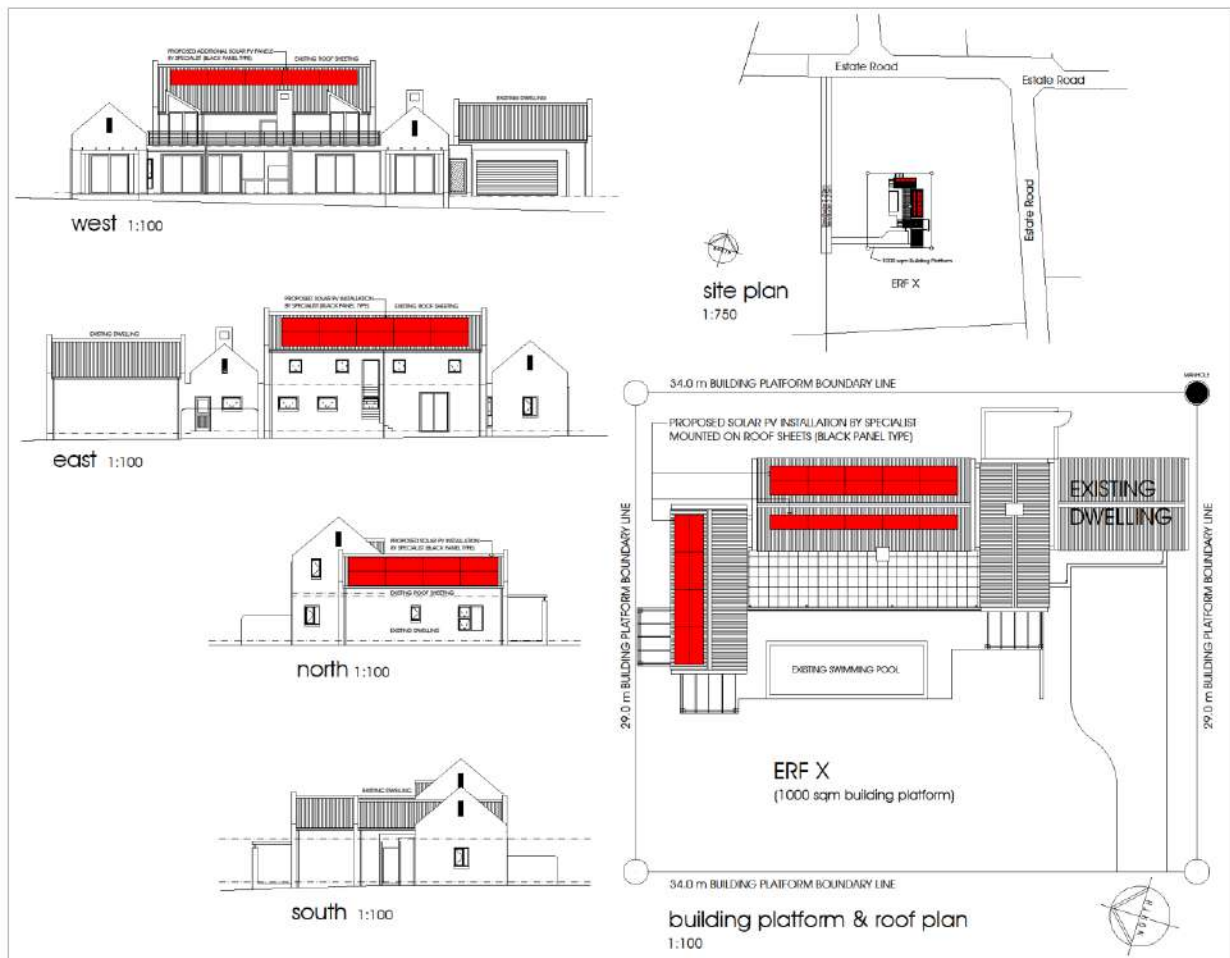
Photo B

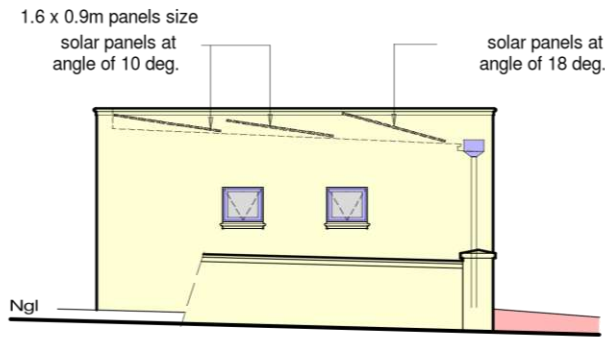


Photo C

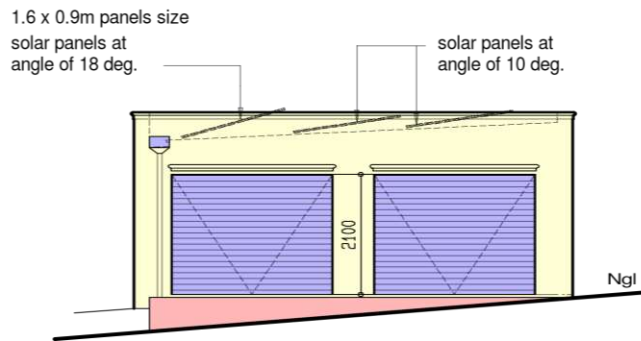


Diagram A

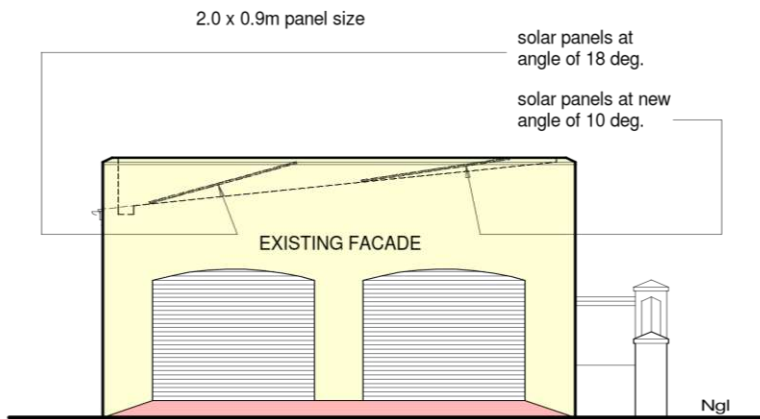





Phase 3 House - Typical Example



Phase 3 House - Typical Example



Phase 1 House - Typical example

 <p>JG KEMP ARCHITECTS 4 BEFESSIG AVENUE, ZONERIJST ESTATE, PAARL, 7645 P.O. BOX 6226, PAARL, 7620 Tel: 021-872 1190 Cell: 0824147671 Email: info@jk.co.za</p>	Client	DIEMERSFONTEIN HOME OWNER ASSOCIATION		
	DESCRIPTION	TYPICAL EXAMPLE OF SOLAR PANELS INSTALLED ON GARAGE ROOFS		
	SCALE	DRAWN	DATE OF ISSUE	PAPER SIZE
1: 100	JGK	21.07.2020	A4	
PROJECT NO.	DRAWING NO.	REVISION		
1055	det. 05			

31. GENERATORS

- a. Generators may be used only when they are **not visible from outside the erf**. Screening as per aircon units to apply if generators are not installed in the yard area.
- b. The use of 'silent type generators is preferable; noise levels from any machine must may not cause a nuisance to residents **and may not exceed 65 decibels as measured on the erf boundary**.

32. GENERAL

- a. **Any changes** to the exterior of houses should be submitted to ARC and Drakenstein Municipal for approval.
- b. The decisions of ARC and the DFHOA are final and the home owners and/or his/her agents have no right to appeal. Additional meetings with ARC professionals are to be charged at current industry rates stipulated by their institutions.
- c. Domestic staff quarters will not be allowed in this estate under any circumstances.
- d. Trampolines are acceptable as long as they:
 - are not visible from the street;
 - are as unobtrusive as possible;
 - **and** are in a good condition.

The following structures will be discouraged within this estate:

Please note: Special application will have to be made for approval by the Architectural Review Committee for erection of the following structures:

- Gazebos
- Jungle gyms or similar structures
- Wendy houses
- Greenhouses
- Other above-ground structures
- Free-standing post-boxes
- Bomas and Lapas

33. THE COMMUNAL WERF SPACES

The construction and maintenance of the communal 'Werf' spaces are the responsibility of the Home Owners' Association.

34. GARDEN DESIGN AND LANDSCAPING

Please refer to the **Landscape Character & Design Controls** document & the **Environmental Management Plan**. A landscape plan is to be submitted to the ARC prior to the commencement of any garden works.

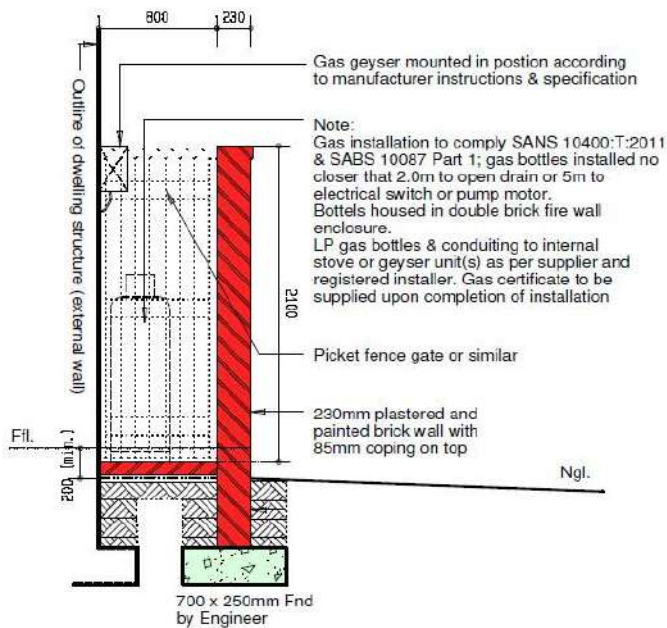
35. EXTERNAL LIGHTING

External lighting must be down lit. Over the main access entrance, it is recommended that this be 1.8m from FGL and a maximum height of 2.4m is prescribed. All external lighting is to be fitted with down lighting hoods.

Lighting is to be provided by the owner at the vehicle entrance to property - no higher than 500mm above the ground level.

No external accent lighting will be allowed.

36. GAS GEYSER INSTALLATIONS (as per illustrations & where not included in the Yard)



DETAIL: GAS ENCLOSURE STRUCTURE

- A 2.1m high wall to screen off all gas bottles and geyser pipe installations;
- The length of the wall will be decided per each site's status quo and in conjunction with ARC;
- The pipework of the geyser fittings to be neatly installed, as least visible as possible, or concealed in the dwelling wall to make them as least visible as possible;
- for in-between areas at neighbouring houses, the 'add-on' extension below the geyser must be installed to conceal all stop- cocks and/ or shut off devices;
- A picket fence and/or gate on street elevation will be required.

37. CLIENT/ARCHITECT AGREEMENT

Should the project be abandoned by the Owner, the service of the architect shall be deemed 'suspended', and resumed on re-commencement of the project.

In the event that an architect buys a property and should wish to design his or her own house, he or she will be subject to the same Controls and regulations of the Architectural Review Committee as any other architect providing his or her services to an owner.

38. BUILDING CONTRACTORS

In the event that a building contractor buys a property and should wish to construct his own house, the contractor will be subjected to the same Controls and Regulations of the Architectural Review Committee as any other contractor working on the Estate.

39. LANDSCAPE CONTRACTORS

Please refer to the Landscape Character and Design Control Document.

40. DISCLAIMERS

This document is considered supplementary to the National Building regulations (NBR) and cannot take precedence. Should any provisions of this document be regarded as contrary to the Local Authority requirements, then the Local Authority requirements shall prevail, other than for the aesthetic or architectural approval.

This document is to be considered supplementary to the Diemersfontein Estate Home Owners' Constitution and cannot take precedence. Should any provisions of this document be regarded as contrary to the Diemersfontein Home Owners' Constitution, then the Diemersfontein Home Owners' Constitution shall prevail.



DIEMERSFONTEIN WINE & COUNTRY ESTATE
DIEMERSFONTEIN HOMEOWNERS' ASSOCIATION

**BUILDING DEPOSITS, SCRUTINY and INSPECTION FEES for
ESTATE, SMALLHOLDINGS, DAM & FYNBOS ERVEN**

	NEW BUILDING	MINOR ALTERATIONS	MAJOR ALTERATIONS, ADDITIONS & EXTENSIONS
SCRUTINY FEES <i>To check compliance with Architectural Design Controls</i>	R 5 400.00	R 2 700.00	R 5 400.00
BUILDING DEPOSIT	R 26 750.00	R 10 700.00	R 26 750.00
BUILDING INSPECTION FEES *	R 2 000.00 per inspection report (Ground floor & Wall plate) R 4 000.00 per inspection report (Final Completion) <i>Minimum of three (3) Inspection Reports</i>	R 4 000.00 per inspection report (Final Completion required inspection) R 2 000.00 per additional inspection report (if applicable) <i>Minimum of one (1) Inspection Report; additional inspections on ARC discretion</i>	R 2 000.00 per inspection report (Ground floor & Wall plate) R 4 000.00 per inspection report (Final Completion) <i>Minimum of three (3) Inspection Reports</i>
RE-SUBMISSIONS	R 3 750.00 per resubmission	R 3 750.00 per resubmission	R 3 750.00 per resubmission

* Please Note: **Excessive deviations** may cause an inspection report surcharge/additional fee.

- 1) All fees payable to DFHOA upon presentation of an invoice.
- 2) Scrutiny Fees are payable with Plan Approval Applications and must be fully paid before any plans will be scrutinised.
- 3) The Scrutiny Fee covers the cost for scrutinizing of plans and second phase approvals.
- 4) Building Deposit is payable before Site Handover can be done.

- 5) Building deposit is refundable, without interest, after successful Site Clearance to the satisfaction of the Architectural Review Committee of the DFHOA.
- 6) All fees described above are subject to review.
- 7) Building Penalty fee DURING & AFTER CONSTRUCTION for DEVIATIONS from the approved plan and/or non-submission of revised plans and/or as-builts: **R 7 500.00**
- 8) Penalty fee for TAKING OCCUPATION without Occupancy certificate from the Drakenstein Municipality: To a maximum of **R 25 000.00**
- 9) If Scrutiny Fees are not been paid, the DFHOA will retrieve it by deducting the amount from the building deposit or raise it on the owner's levy account.
- 10) The building application decisions of the ARC and DFHOA are final and the home owners and/or his/her agents have no right to appeal. Additional meetings with ARC professionals are to be charged at current industry rates stipulated by their institutes.
- 11) Home owners do have the right to appeal penalty fees/fines, which will be considered based on dates and facts as reviewed by ARC and finalised at the discretion of the trustees, where after it will be considered as final.

I understand and accept the full terms and conditions of the Fees' Structure.

OWNER

DATE

REPRESENTATIVE OF DFHOA

DATE