

ANNEXURE B1

DIEMERSFONTEIN WINE & COUNTRY ESTATE, WELLINGTON



Architectural Design Controls The Village, Diemersfontein

The PURCHASER undertakes to comply with the contents of this Schedule in its entirety. The Purchaser accepts that the contents of these Architectural Design Controls are updated periodically and that it is the PURCHASER's responsibility to ensure he obtains the current edition prior to the commencement of his house design.

Signed at on this day of 20....

PURCHASER (Name in Full):

SIGNATURE:

WITNESS: (Name in Full):

SIGNATURE:

INDEX	PAGE
PREAMBLE	
1. INTRODUCTION	5
1.1 LOCATION	5
1.2 DESIGN PRINCIPLES	5
1.3 PRINCIPAL ARCHITECT OF THE VILLAGE	5
2. BUILDING PLAN SUBMISSION AND APPROVAL	6
2.1 REGISTERED ARCHITECTURAL PROFESSIONAL	6
2.2 PLANS	6
2.3 SIGNATURE OF PLANS	6
2.4 ALTERATIONS & ADDITIONS	6
2.5 AESTHETIC APPROVAL	6
2.5.1 LOCAL AUTHORITY APPROVAL	6
2.6 DESIGN SCRUTINY FEE	7
3. SITING CONTROLS	7
3.1 ZONING	7
3.2 COVERAGE	7
3.3 POSITIONING OF BUILDINGS	7
3.4 HEIGHTS	7
4. PLAN FORMS, SCALE AND PROPORTION	10
5. DESIGN COMPONENTS	11
5.1 ROOFS	11
5.1.1 CORE BUILDINGS	11
5.1.2 ABUTMENTS	12
5.1.3 FREE-STANDING BUILDINGS AND GARAGES	12
5.1.4 VERANDAHS AND STOEPS	12
5.2 EAVES AND FACIAS	12
5.3 GUTTERS AND DOWN PIPES	12
5.4 ROOF WINDOWS	13
5.5 CHIMNEYS	13
5.6 EXTERNAL WALLS	14
5.7 WINDOWS	14
5.8 DOORS	15
5.9 EXTERNAL SHUTTERS	16
5.10 VERANDAS & STOEPS, PERGOLAS AND BALCONIES	17
5.11 BOUNDARY AND YARD WALLS	19
5.12 SWIMMING POOLS	22
5.13 DRIVEWAYS AND PAVING	23
5.14 LIGHTING	23
5.15 MISCELLANEOUS	24
6. DISCLAIMERS	31

Scrutiny Fees: Please refer Annexure B2

PRE-AMBLE

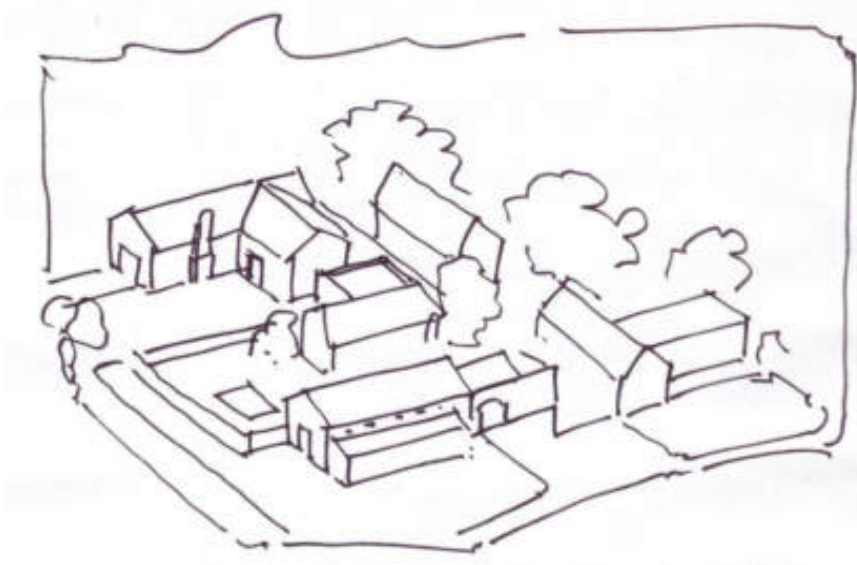
Please note that these Controls represent the approved designs for houses in the Village as amended by the Trustees in 2020.

Please also note that, although no changes to the Controls may be made by the Trustees without the approval of a General Meeting of the DFHOA, the Homeowners' Association and its Trustees reserve the right to make periodical amendments to the Design Controls as deemed necessary to the benefit of the Development.

No owner may change any plans passed by the DFHOA, or cause his/her house to be changed in any way from that specified. Any alterations that impact on the external appearance of a house in the Village must be approved by a formal application to the Architectural Review Committee (ARC) and the Drakenstein Municipality for Council approval. (Please refer 2. Building Plan Submission & Approval).

Should any non-compliance be reported to the Trustees, the Homeowner shall be obliged to correct the position to the satisfaction of the Trustees and may be liable for a fine as determined by the Trustees.

ARCHITECTURAL CONTROLS



1. INTRODUCTION

1.1 LOCATION

The Village at Diemersfontein is located on the Diemersfontein Wine & Country Estate situated at the outskirts of the historic Boland town of Wellington. The site slopes gently west towards the ponds and allows for views towards the northwest. The Limiet Mountain Range defines the south eastern boundary.

1.2 DESIGN PRINCIPLES

This document is intended to provide continuity of the built fabric by controlling and regulating the use of materials, form arrangement, architectural elements and colour. The objective is to create a harmonious architectural style with a distinctive Boland vernacular. Several house design types have been developed and positioned on selected erven across the Village. It is envisaged that the prospective buyer acquires the land and erects the recommended house type for that specific erf.

1.3 PRINCIPAL ARCHITECT OF THE VILLAGE

The document makes reference to the Principal Architect, who is empowered to make the final decision on a number of aspects, as described in the Controls. At the time of the review of these Controls, the Principal Architect is JG Kemp Architects.

2. BUILDING PLAN SUBMISSION AND APPROVAL

2.1 REGISTERED ARCHITECTURAL PROFESSIONAL

Homeowners may commission an architectural professional of their own choosing; the only proviso being that the architect/technologist must be a currently registered member of the South African Council for the Architectural Profession (SACAP). He/ she need not necessarily have to hold the qualification of PR Arch (Professional Architect) but can also be an Architectural Technologist or an Architectural Draughts person.

2.2 PLANS

Plans must be prepared in accordance with these controls and comply with the Drakenstein Municipal and National Building Regulations, SANS 10400.

2.3 SIGNATURE OF PLANS

Building plans must be submitted to the ARC for aesthetic approval and sign-off prior to final Municipal approval. Both the architect and homeowner must sign the plans that are to be submitted, where possible. If the owner cannot sign the plans, the architect's signature will be taken as binding on the owner.

2.4 ALTERATIONS & ADDITIONS

Plans for any alteration or addition (including the enclosure of Stoeps) must be submitted to the ARC for approval and subsequently submitted to the Local Authority.

2.5 AESTHETIC APPROVAL

The appointed architectural professional, acting as the principal agent, is to submit one electronic copy of the first draft sketch plans, which must include elevations & coverage percentage, together with a site plan and type of fencing to the nominated coordinator of the ARC, who will forward such to the ARC for preliminary scrutiny.

2.6 LOCAL AUTHORITY APPROVAL

On approval of the first draft sketch plans by the ARC, detailed drawings can be prepared for submission to the Drakenstein Municipality, Wellington. **Two hard copy sets and one electronic set, as per the new Municipal regulations, of the final submission plans** must be submitted to the ARC that will check, stamp and approve accordingly. Three sets will be returned to the architects to be used for submission purposes and one set will be kept on file in the Estate Office.

Please note: The Local Authority will not scrutinize submission drawings not approved by the ARC.

2.7 DESIGN SCRUTINY FEE

Please refer Annexure B2

Please note: No approval will be issued until the scrutiny fee has been settled.

3. SITING CONTROLS

3.1 ZONING

The area is zoned for single residential use only.

3.2 COVERAGE

3.2.1 Maximum coverage is 60% of the site inclusive of garages, covered verandas, patios, balconies and stoeps.

3.2.2 Minimum habitable floor area of 80m² (exclusive of garages & undercover areas), is allowed.

3.2.3 The erection of at least a single garage, in addition to the dwelling, is required.

3.3 POSITIONING OF BUILDINGS

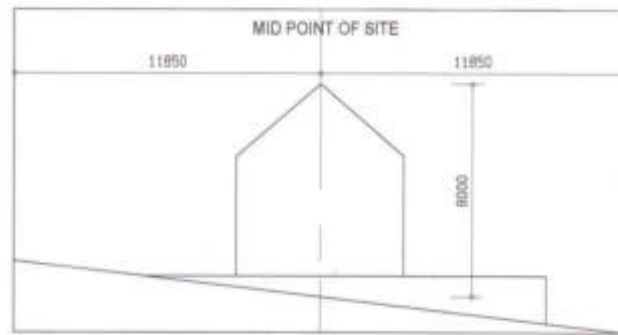
All new dwellings in Phase 3 must be a minimum of 1 meter from the plot boundaries on sides adjacent to other plots. The final positioning of new dwellings is solely at the discretion and approval of the Principal Architect of the Village and the ARC.

3.4 HEIGHTS

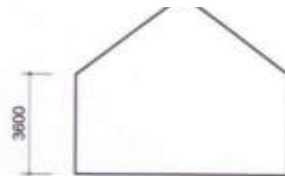
3.4.1 The controls encourage the use of verandas, stoeps, pergolas and lean-to roofs to reduce the scale of the main building. This, together with the development of the roof spaces or attic storey, contributes to achieve the aim of scale sensitivity across the development.

3.4.2 A maximum of two floors will be allowed.

A maximum height of 8.0m as measured from mean ground level to ridge of roof will be imposed. This height will be measured at the intersection of the structure and the mid- point of the specific site and must step back parallel to the average ground level.



HEIGHT RESTRICTION



WALL PLATE HEIGHT:
SINGLE STOREY STRUCTURE

The wall plate height for **single storey structures may not be more than 3.6m** as measured from the finished floor level.

The wall plate height for **double storey structures may not be more than 4.8m** as measured from the finished floor level.



BUILDING PLATFORM - STREET BOUNDARY EDGE TREATMENT

Buildings must be designed with stepped levels in response to the sloping sites.



The following controls will apply:

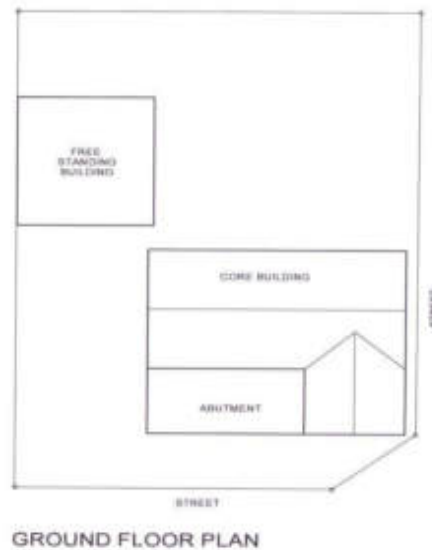
1. The relationship between the building platform level and the street level is extremely important to the ARC. Any new planning submission will be closely scrutinized in order to ensure that the ground floor level corresponds to other built structures and street level in the immediate vicinity. This will establish a relative relationship between neighbouring houses and ensure overall harmony throughout the development. It is within the power of the Principal Architect to determine final ground floor levels at any site.
2. Where an erf slopes away from the street onto which it fronts and the dwelling is located directly on the street boundary, or within 1000mm of that boundary, the floor level must be dropped by at least 500mm. **Proper care must be taken to ensure waterproof construction.**
3. The height of ground fill may not be more than 800mm above natural ground level. Dropping the floor level from the top most point of the plot may be necessary to achieve this.
4. No building may be cut deeper than 1200mm at the highest part of the site.
5. If a plinth is employed, it may not exceed 800mm in height.
6. No basement structures will be allowed.
7. All retaining wall structures must be solidly built walls with plaster and paint finish or stacked concrete retaining system where practically required, subject to approval by the ARC and Local Authority. If a stacked concrete retaining structure is used, its top level must not exceed the top of the bank that is being retained.



4. PLAN FORMS, SCALE AND PROPORTION

Buildings must be of relative scale and sound architectural and geometric proportion. Plan forms must be composed of rectangular forms arranged perpendicular to each other. No free forms or circular shapes will be allowed.

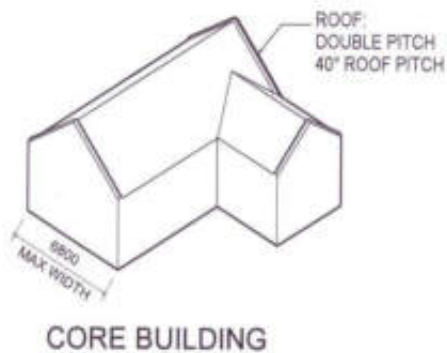
The building forms shall consist of the main building structure which is expressed as a **core building** with **abutments** and or **free-standing structures**.



CORE BUILDINGS:

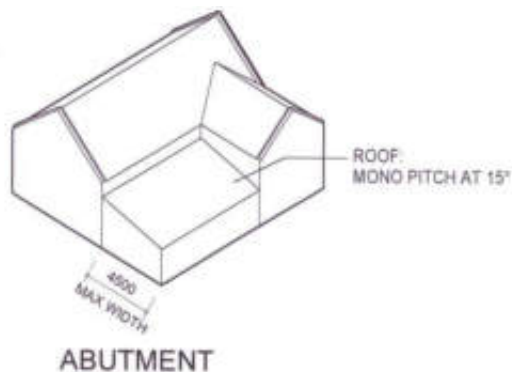
The plan forms are inspired by the traditional Cape Vernacular typology of arrangements according to the “letter of the alphabet”. Typically, these arrangements resemble the letters I, T, L, H & U and variations on the theme.

The maximum width of the core building may not exceed 6,8m.



ABUTMENTS:

Abutments are rectangular single storey extensions to core buildings. **The maximum width of abutments may not exceed 4,5m.**



FREE-STANDING BUILDINGS AND GARAGES:

Free-standing buildings and garages, unless designed as part of the core structure, may only have flat roofs that are rectangular, single storey extensions to core buildings. **These buildings may not exceed the maximum area of 70m².** The roof should be mono pitch at 3° minimum.

5. DESIGN COMPONENTS

5.1 ROOFS

5.1.1 CORE BUILDINGS

Roofs of all main structures or core buildings may be double pitched or flat roofed and must be pre-determined and specified by the guiding architectural style. (Flat roof core structures are not allowed on single-storey buildings).

All **double pitched roofs** must have a pitch of 40° and must terminate with a gable or with flush eaves with fascias. Only corrugated s-profile metal roof sheeting with Chromadeck equivalent finish will be allowed. **Colour:** Charcoal.

All double-storey **flat or mono-pitched roofs** must be concealed behind level parapet walls and must have a pitch of 3. Material may consist of either long span, Kliplok or corrugated s-profile metal roof sheeting with Chromadeck equivalent finish and concealed box gutters or reinforced concrete with crusher stone covering.

5.1.2 **ABUTMENTS**

Roofs of all abutments can either be exposed or concealed behind a level parapet wall. Exposed roofs must be mono-pitched at a minimum of 10°. Only corrugated s-profile metal roof sheeting with Chromadeck equivalent finish will be allowed. **Colour:** Charcoal. Concealed roofs may have a pitch of between 3° and 15° and must be hidden behind a parapet wall. Material may consist of either metal roof sheeting or reinforced concrete with crusher stone covering.

5.1.3 **FREE-STANDING BUILDINGS AND GARAGES**

Roofs of all free-standing buildings must be concealed behind a level parapet wall. Material may consist of either corrugated metal roof sheeting or reinforced concrete with crusher stone covering. Free-standing buildings and garages can only be single storey.

5.1.4 **VERANDAHS AND STOEPS**

These areas may be open or roofed with straight mono-pitch structures and prescribed pitch of 10 - 15°. Only corrugated s-profile metal roof sheeting with Chromadeck finish will be allowed. **Colour:** Charcoal.

5.2 **EAVES AND FACIAS**

Only clipped or flush eaves with fascias extending the length of the building along the roof edge will be allowed. Fascia material will be timber SAP fascias, size 32 x 220mm planed all round and all painted white, or Nutec board all painted white or white PVC.

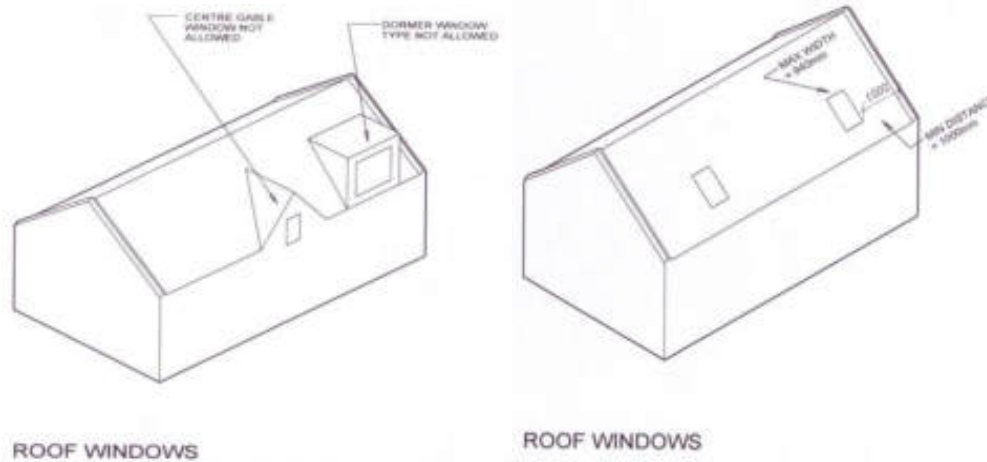
5.3. **GUTTERS AND DOWN PIPES**

Gutters and down pipes must be mounted flush on fascia boards and walls. Only Ogee seamless, pre-finished aluminium gutters and down pipes or PVC gutters (half-round shape) with PVC downpipes will be allowed. **Colour:** White / Sand as per Watertite gutters, or White as per Marley or similar.

All down pipes must be linked to grated storm water gullies that form part of an underground sewer system discharging rain water to the street or common estate sewer.

5.4 ROOF WINDOWS

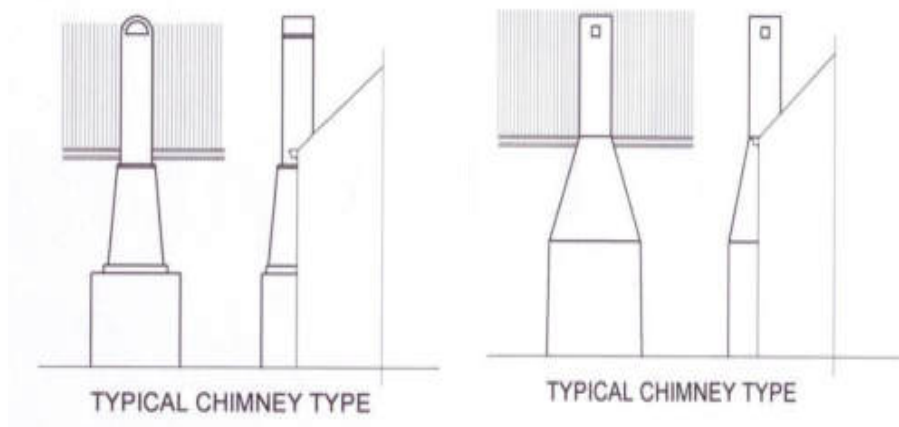
Only pre-fabricated roof windows as per Tony Sandell Roof Windows or Velux, fitted in the slant of the roof, will be allowed. The width of these windows may not exceed 940mm and must preferably be located to align with openings below on the façade. No dormer windows of any type will be allowed.



5.5 CHIMNEYS

All chimneys will be of masonry construction, plastered and painted to match wall colour and can be inside or outside the roof eave. Pre-fabricated flue pipes must be concealed within constructed chimney stacks. No rotating cowls will be allowed; however, turbo cowls are permitted. The highest point of any chimney must be maximum 1000mm above the roof sheets. The flue may be terminated in half-round design or level top with plaster mouldings.

Pre-fabricated chimney piping that protrudes through the roofing is not permitted.



5.6 EXTERNAL WALLS

5.6.1 All exterior walls will be masonry cavity wall construction, plastered and painted.

5.6.2 Plastered plinths may be used to a maximum height of 800mm.

5.6.3 Simple plaster bands around openings with a minimum of 120mm and maximum width of 200mm are permitted, but not prescribed. Plaster bands must be painted to match the wall colour - no other colour will be allowed.

5.6.4 Walls may only be finished with smooth wood trowel plaster and painted in the prescribed Diemersfontein White no 1 (one) colour formulated as follows:
PC = 5.0 / PI = 2.5 / PL = 15.0 formulated on a pastel base.

5.6.5 All garage door openings will be finished with either curved or horizontal plaster mouldings to mirror the line of the door opening.

5.7 WINDOWS

5.7.1 Window frames will be hardwood, Upvc, or aluminium, the aluminium frame being according to the following specs only; Gloss (G) White (ANP 71001), G. Light Grey (ANP 17035), G. Stone Grey (ANP 17030), G. Light Grey (ANP 1729), G. Seal Grey (ANP 1021) & G. Charcoal (ANP 1055).

If an owner wants to deviate from the specifications, please submit a sample for the ARC to approve.

5.7.2 Windows must be vertically proportioned, with a maximum width to height ratio of 60% (i.e. portrait as opposed to landscape) and follow either the Victorian style or be without mullions. No small pane arrangements will be allowed.

Please Note: Where not practically possible, i.e. in a bathroom, square windows may be considered by the architect subject to approval by the ARC.

5.7.3 Window types may only consist of Victorian type vertical sliding sash, mock sash or casement. (Specify outward opening windows as per existing houses.)

5.7.4 Windows may not be lower than 300mm above finished floor level.

5.7.5 No reflective/mirror or colour tinted glazing will be allowed; low-E or double-glazing options are acceptable.

5.7.6 Windows at first floor level must be smaller than those at ground floor.

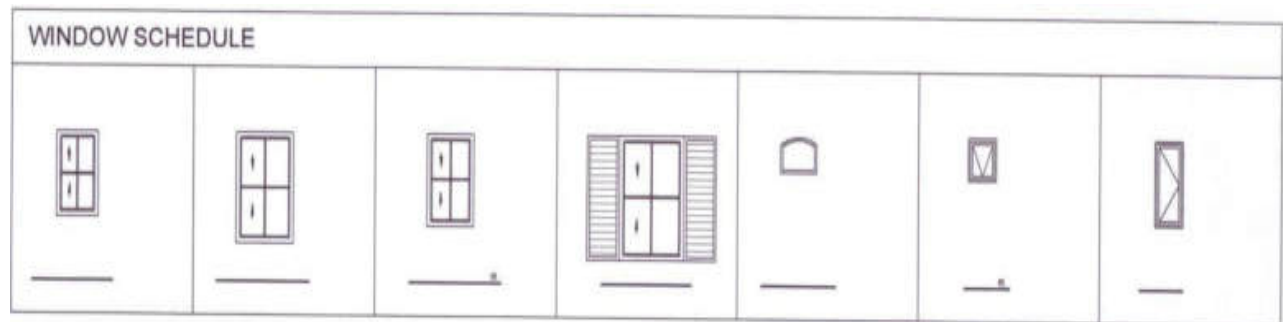
5.7.7 Burglar bars are discouraged, but where applied, can be either simple rectangular designed units, painted as per specification for window frames and internally placed, or can be clear, polycarbonate material and internally mounted.

5.7.8 Internal aluminium security shutters are permitted.

5.7.9 No external units allowed.

5.7.10 Only internal burglar meshing is permitted.

5.7.11 Window sills, prescribed for every window, must be smooth plastered and angled at minimum 15° with plaster moulding projection as per detailed sketch below.



Typical Plaster band details prescribed at window sills, parapets & garage doors.



5.8 DOORS

5.8.1 Door material must be selected hardwood, Upvc material or aluminium

framed to match windows with either dark natural finish or painted to colour specification as listed for windows. Aluminium material will be allowed to colour specification as listed for windows.

5.8.2 French doors or stable type with combinations of side and fan lights, sliding, sliding-folding are allowed.

Frameless glass doors are only permitted as stoep enclosures.

5.8.3 The aperture forming the front door facing the street may not exceed 1750mm in width and 2700mm in height (including top –and side fanlights). The door itself may be solid or stable type with a solid bottom section. The design must be simply panelled. No ornate designs or pivot types will be allowed.

5.8.4 Apertures forming other doors exceeding 1750mm in width must be placed at least 2.0m behind the front edge of veranda or pergola.

5.8.5 No aperture fitted to the front gable may exceed 2400mm or 50% of the gable width, whichever is the lesser and may be no higher than 3000mm.

5.8.6 Sectional overhead or tip-up garage doors must be made of fibre glass or aluminium and have horizontal patterning. For a double garage there are to be two single doors and not one double garage door.

5.8.7 All burglar bars, security gates, expandable, sliding systems and burglar meshing must be mounted behind the glazing of windows and doors. These units must be black or dark brown – no other colour is permitted.



5.9 EXTERNAL SHUTTERS

5.9.1 External shutters must match door and window material and if applied, must be functional i.e. hinged or sliding operational.

5.9.2 External shutters must be louvered in design and finished to match window or door material colour or otherwise be white.

5.10 VERANDAS & STOEPS, PERGOLAS AND BALCONIES

5.10.1 **Verandas and Stoeps**, where applicable, must be provided along the longitudinal facade facing the street and up to where the façade meets with a protruding gable. The width of a veranda must be minimum 1200mm up to maximum 4000mm. Verandas with lean-to roofs are to be simple in design at a recommended angle of- 15°. Roofing material must be the same as that used for the core building.

5.10.2 **Veranda and Stoep Supports** should generally be plain, square plastered & painted columns with or without expressed plaster bands. These dimensions may not be less than 330 x 330mm and not more than 380 x 380mm. Alternatively, double hardwood 144 x 44mm upright supports may be used with apertures facing outwards. These must be treated and finished with dark staining, varnish or painted white.

No other type of column or support will be allowed.

5.10.3 **Veranda and Stoep** roof structures must be constructed in natural hardwood or masonry with plaster and painted finish. The timber can be finished with dark staining or varnish or painted white.

No other colour will be allowed.

5.10.4 **Stoeps** may be enclosed according to the following specs only:
Framed or frameless **sliding** stacking doors are permitted.

5.10.5 Louvered **sliding** stacking doors are permitted.

5.10.6 In addition, a **pergola must be built against the wall**, the specs of which are: double hardwood 144 x 44 mm vertical uprights, treated and finished with dark staining, varnish or painted white. The cross sections in this case may only be 144 x 44 mm beams treated or painted in the same style as the uprights.

5.10.7 The **pergola** may also be of masonry built-and-plastered uprights, 340 x 340 mm painted in Diemersfontein white. The cross section in this case may be either tanolith treated round poles or hardwood 144 x 44 mm beams, treated and finished with dark staining, varnish or painted white.

5.10.8 **It is important to note** that plans to enclose a stoep must be submitted to the Building Control Office of the Drakenstein Municipality to ensure compliance with the National Building Regulations: an 'enclosed stoep' automatically becomes an additional room.

5.10.9 **Pergolas** should be of natural timber or painted white, or white powder-coated aluminium construction. Pergola supports should preferably be plain; square plastered & painted columns with or without expressed plaster bands. These dimensions may not be less than 330 x 330mm and not more than 380 x 380mm. Double hardwood 144 x 44mm vertical uprights supports may be

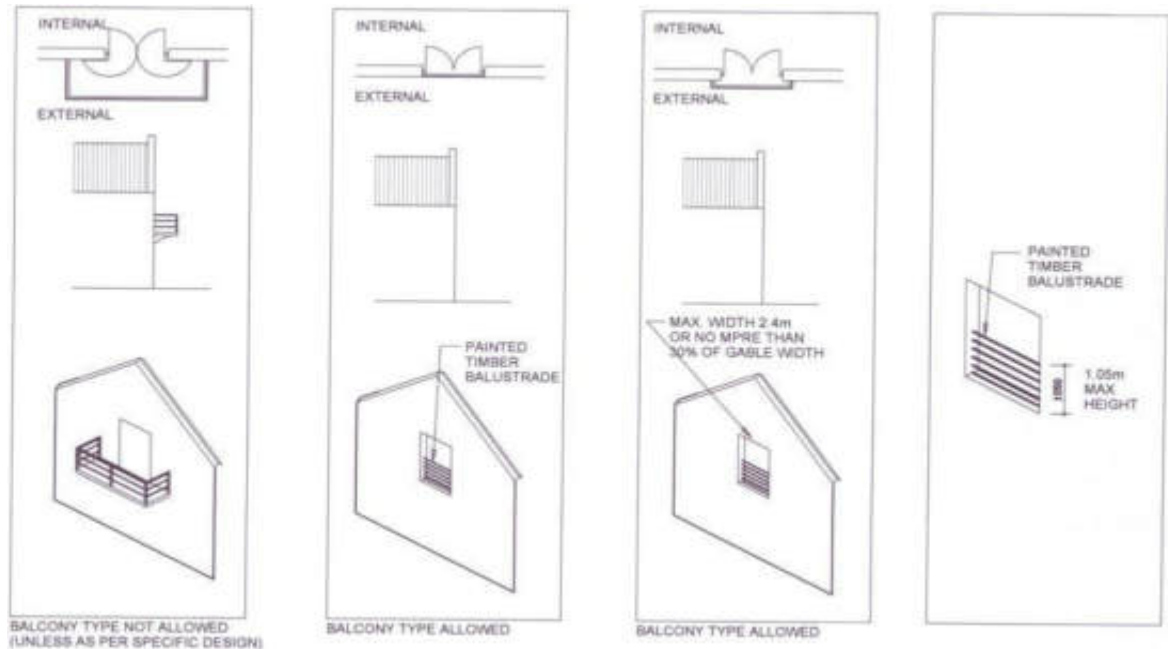
used as an alternative. No other type of column supports will be allowed. These must be treated and finished with dark staining, varnish or painted white. Retractable awnings may be used under these structures. Canvas to be plain and white in design.

Balconies are generally discouraged as they invariably compromise the privacy of neighbours. Where applied though, balconies must form an integral part of the design and any visible sides of slabs or brickwork must be plastered and painted to match the wall surface to which they attach. No free standing or cantilevered balconies will be permitted.

5.10.10 **Balconies** will not be allowed in any elevation aligning with an erf boundary or along any common side boundary.

5.10.11 **Balconies** are not allowed to extend beyond any wall facade or protrude into any building line zone, unless as determined per specific design 5.10.9 below. Where a design calls for single or double leaf French doors located at first floor level, the doors must open inwards and the baluster must be flush mounted within the reveal. The balustrade may only consist of treated hardwood or painted metal balusters, simplistic in design and to a total height of 1050mm above finished floor level. These must be finished to match the door material to which it is applied. The aperture width (including door leaf and fan lights) may be no more than 2400mm or if fitted in a gable, be 30% of the gable width, whichever is the lesser. The total height including top light may not exceed 2400mm. No glass, Perspex, stainless steel or any other clear material may be used as a baluster.

5.10.12 **Balconies** at the first floor will only be allowed as determined per specific house type design and may only consist of a solid plastered & painted balustrade structures to a total height of 1050mm above finished floor level. These must be painted to match the general wall colour. Alternatively, treated hardwood or painted metal balusters, simplistic in design and to a total height of 1050mm above finished floor level will be allowed. These must be finished to match the door material to which it is applied. No other material or balustrade type will be allowed. No glass, Perspex, stainless steel or any other clear material may be used as a baluster.



Examples of Balcony treatment

5.11 BOUNDARY AND YARD WALLS

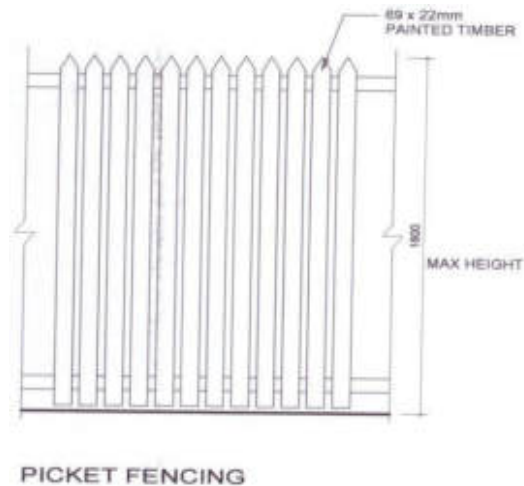
5.11.1 MATERIALS

The following materials are allowed: All **masonry** construction with wood trowelled plaster finish and painted to match the core building wall colour. On street facing elevations, all free-standing walls must terminate in square columns up to max. size 440 x 440mm and incorporate saddle copings projecting no more than 25mm on either side of the wall. Where walls incorporate **columns**, such columns must be square and may not protrude more than 100mm from the external wall face. All columns in all walls must be spaced at minimum 3500mm spacing. All wall heights will be measured from the natural ground level to the top of coping. Street-facing boundary walls must be solid masonry and no inserts (i.e. steel palisade) will be permitted.

5.11.2 PICKET FENCING

All **picket fencing** will consist of selected hardwood vertical sections of 69 x 22mm or closest PVC equivalent, regularly spaced and mounted to a suitable framework all secured on top of the wall coping. Picket fencing must be properly treated and painted white. **No other colour will be allowed.**

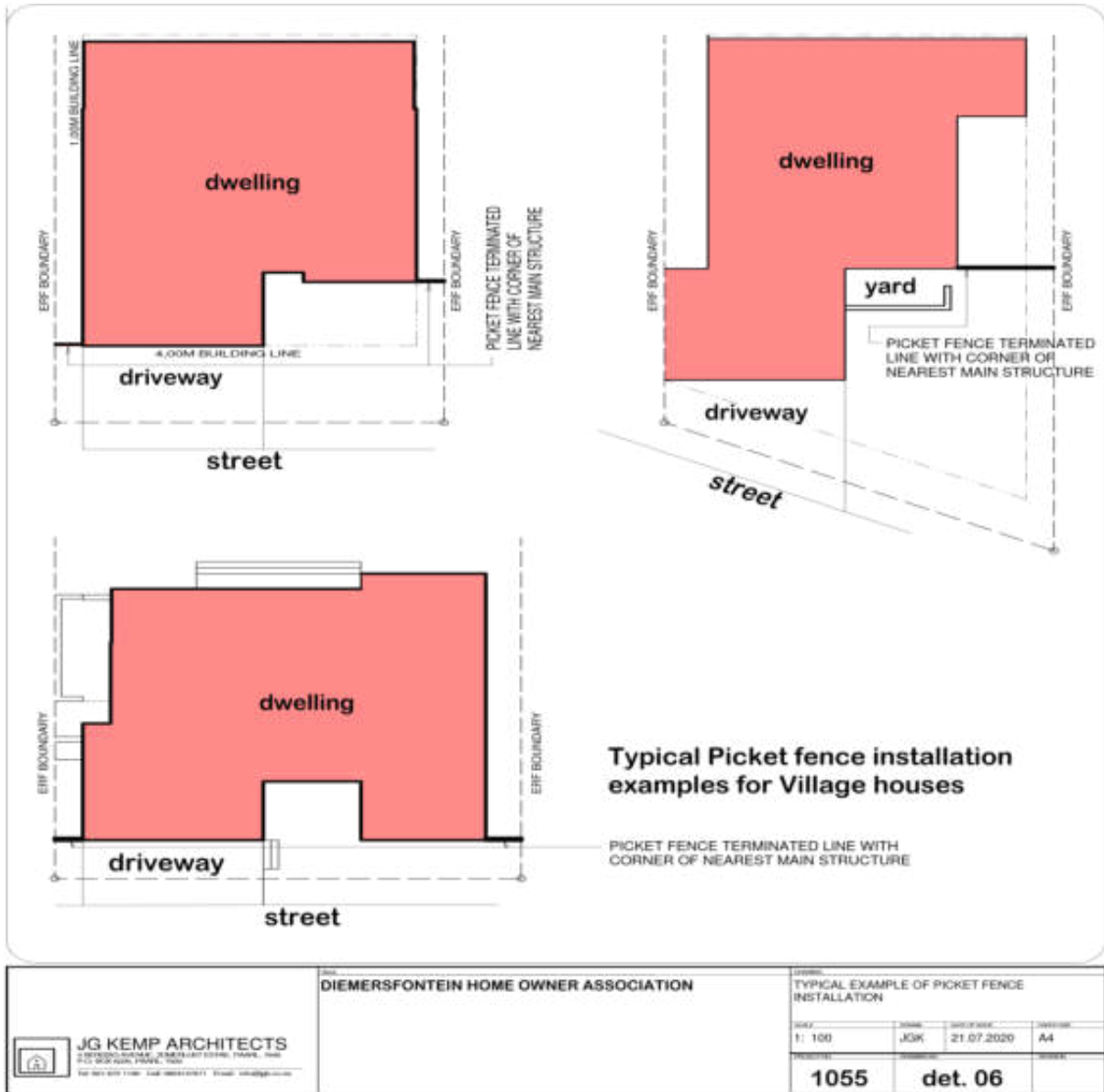
5.11.3 SAMPLE OF PICKET FENCING SPECIFICATIONS



5.11.4 POSITIONING

Positioning & installation of fencing are allowed on shared boundary walls (please refer sketch on page 21). However, no picket fencing will be allowed on any street facing façade of the dwelling. Where installed as a shared boundary installation, fencing must be terminated at a point closest to the structure facing the street. No picket fencing will be allowed to protrude beyond or be installed in front of any street façade.

Please note: for corner sites picket fencing will NOT be allowed along any street boundary.



5.11.4 SHARED BOUNDARY WALLS

These walls, if masonry, must be minimum 230mm to maximum 400mm wide and no higher than 1200mm. A maximum overall height of 1800mm will be allowed for a distance not exceeding 50% of the length of that boundary. If picket fencing is used, these must be painted white. The 1800mm height wall section may not occur where the shared boundary abuts or intersects a street boundary. In such instances a step back is required of minimum 2000mm from the junction.

5.11.5 **STREET WALLS**

Preferably no street walls are encouraged. In the cases of owners requiring a wall, walls must be plastered & painted masonry to a min. width of 230mm to max. 400mm wide and no higher than 1200mm. Any pedestrian opening may not be less than 800mm or more than 1100mm wide.

5.11.6 **OPEN SPACE WALLS**

Preferably no walls are encouraged. If the owners do prefer demarcation, walls may be masonry or picket fencing material to maximum height of 1200mm. Pedestrian opening or gates will be allowed as applicable to street walls.

5.11.7 **YARD WALLS**

Yard walls are mandatory. These walls (only masonry or picket fencing) may be no higher than 2100mm. This height will be allowed on all three open sides and may extend for a distance not exceeding 25% of the length of that boundary.

5.11.8 **SWIMMING POOL WALLS**

Steel or metal palisades will be allowed to provide safety for swimming pool areas.

Where a swimming pool is located on the street side of a particular erf, an 1800mm high wall will be allowed extending for a maximum distance of 25% of the length of that boundary. This wall however may not be constructed directly on the boundary and must be setback a minimum distance of 2000mm from the street boundary.

5.12 **SWIMMING POOLS**

5.12.1 Swimming pools must be set into the ground and only rectangular designs will be allowed. Pool decks may not be higher than 500mm above natural ground level.

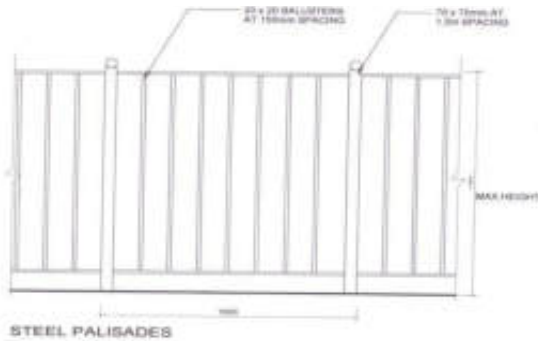
5.12.2 Filtration units must be concealed within a pool pump room or other type of enclosure.

5.12.3 Where a pool is not enclosed by the boundary fence or wall of the property, a pool enclosure must be built.

5.12.4 Pool enclosures must comply with National Building Regulations SABS 0400/DD4 and be of either:

- a simple metal palisades design as per sketch 6.8.5, not exceeding 1200mm in height, or a
- **Betafence Betaview** swimming pool enclosure, with same height restriction as above.

5.12.5 Backwash pipes to be connected to the sewerage system of the Estate.



5.12.6 Jacuzzis, portable pools and decking are allowed, but must be concealed from view -either from the street or from neighbouring properties.

Approval for the installation of these three items must receive prior approval from the ARC – a sketch drawing indicating design & size and elevation must be submitted.

5.12.7 The pool locality to be shown on all plans, and must be approved by ARC and Drakenstein Municipality.

5.13 DRIVEWAYS AND PAVING

5.13.1 Driveway widths to be maximum 6000mm at curb level extending for 1m inwards from where it may go wider. Paving materials may only be Corobrick “Wheatstone” or equivalent colour whole or half-brick pavers, laid in **random pattern, although herringbone pattern is encouraged**. Driveways and pathways may be edged with Corobrick “De hoop Red” pavers laid as a soldier course or brick-on- edge. Pathways may consist of stone chippings with Revelstone Grey cobble or equivalent colour paver edging.

5.13.2 Hard landscaping surfaces, i.e. brick paving, tiling, etc., around houses will not be permitted to cover the entire site. Cumulative paving shall not cover more than 25 % of each erf’s area and a minimum of 25% of each erf must be soft landscaping. (Please refer Clause 5. *Landscape Character & Design Controls*).

5.14 LIGHTING

External wall lighting must be positioned at maximum height of 2200mm and must not disturb adjacent neighbours. Fittings must be matt black or white in colour.

Solar lights may be installed, but solar panels must not be visible from the streetscape. Motion-detection lights are permitted, but the motion detector must be concealed within the fitting and the light must not cause disturbance to neighbours.

Permanent LED strip lighting installations are not allowed.

Yard and perimeter wall lights must be low mounted and not visible from the street. Fittings must have a louvered grill directing the light downwards and must be matt black in colour.

5.15 MISCELLANEOUS

5.15.1 Waste & Soil Pipes

All waste and soil pipes must be concealed within walls or ducts and may not be visible on the exterior of the buildings. For double storey dwellings, a duct on the internal wall with removable panels matching the external wall colour to conceal the soil pipe, must be constructed or alternatively concealed in the cavity.

5.15.2 Security Beams

Wireless external detection devices will be allowed and must match the wall colour. Alarm systems must be installed internally and must link up to the homeowner's armed response company. No audible alarms allowed.

5.15.3 Aerials

Aerials, satellite dishes and wireless are to be mounted as inconspicuously as logistically possible.

5.15.4 Generators

Generators may be used only:

- a. when they are **not visible from outside the erf.**
- b. Screening as per aircon units to apply if generators are not installed in the yard area
- c. The use of 'silent type generator is preferable. Noise levels from any machines must not cause a nuisance to residents **and may not exceed 65 decibels as measured on the erf boundary.**

5.15.5 Solar Panels

Installation and placement of solar panels used for the generation of hot water or electricity, or any other external mounted panels, must be submitted for scrutiny and authorisation by the ARC.

A Letter of Approval will be issued which must be included in the final submission to Drakenstein Municipality.

Please note: solar panels are allowed in terms of National Building Regulations in order to augment the provision of electricity.

Important notice: Installations which are geared towards "going off the grid" will simply be too large in scope (panel installation requirement) and will therefore not be allowed.

Please note:a. New Builds:

a.1 A plan showing the panels' locality on the roof to be included on the plans for ARC and Drakenstein Municipal approval.

a.2 To be submitted as part of the standard Drakenstein building application process.

b. As Additions:

b.1 A re-submission plan showing the panels' locality on the roof to be included on the plans for both ARC and Drakenstein Municipal approval.

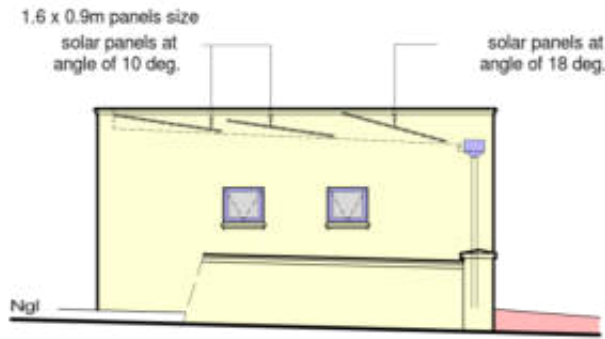
b.2 SSEG application and registration with Drakenstein Energy Department.

Solar panels for heating or electrical generation must be placed flat at low angles on Garage roofs behind parapet walls at a prescribed angle of between 10 to 18 degrees (Please refer sketches on p.26). Panels must be rectangular in design & shape and consist of either the "**half-cell black module**" type or the "**evacuated tube**" type units.

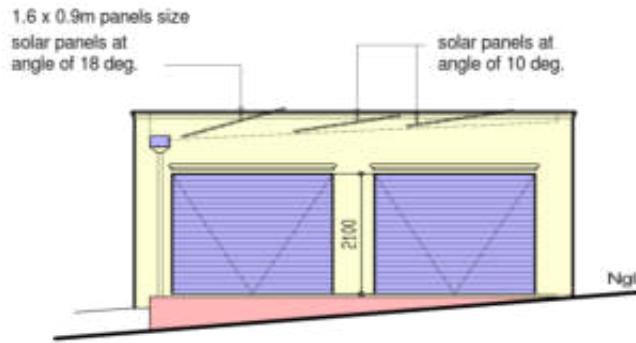
Each application will be adjudicated in terms of its suggested size and proposed positioning. In cases where the applicant can prove the preferred panel installation position will be shaded for most of the day, the ARC will consider an alternative position located on a pitched roof. However, the alternative position will not be allowed on any street facing roof. In all such cases panels must follow and match the gradient of the roof sheets.

Only flatbed (copper pipe) type and evacuated tube panels are permitted.

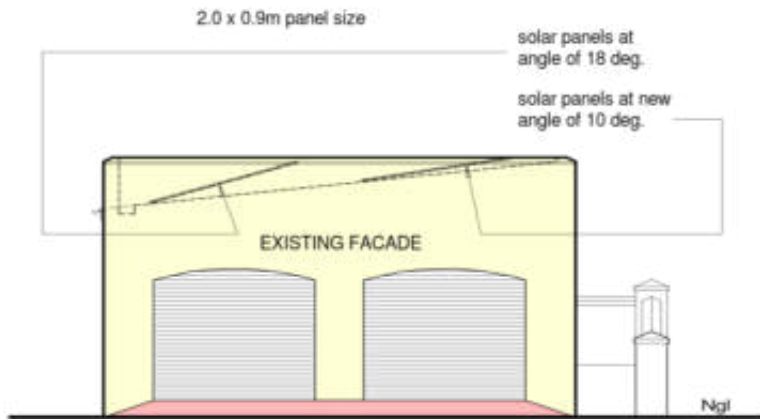
Solar panels with a built-in reservoir / geyser on top, are not permitted. Colour of solar panels (excluding tubes) to be **BLACK**. No blue panels will be allowed. No shiny parts are allowed; panels to be non-reflective.




Phase 3 House - Typical Example



Phase 3 House - Typical Example



Phase 1 House - Typical example

 <p>JG KEMP ARCHITECTS 4-BERESDALE, JOHANNESBURG, SOUTH AFRICA P.O. BOX 4096, FAIRVIEW, 2010 Tel: 011 833 1190 Fax: 011 833 1707 Email: info@jgk.co.za</p>	<p>Client: DIEMERSFONTEIN HOME OWNER ASSOCIATION</p>		<p>Project: TYPICAL EXAMPLE OF SOLAR PANELS INSTALLED ON GARAGE ROOFS</p>	
	Scale:	Drawn:	Date of Issue:	Approved:
	1: 100	JGK	21.07.2020	A4
<p>1055</p>		<p>det. 05</p>		

5.15.6 Pool Heating Systems

Pool heating systems consisting of roof mounted black piping systems will not be allowed. Instead a heat pump system must be used and concealed from any street views.

5.15.7 Grey Water Systems

Grey water systems are encouraged and where utilised, must be incorporated into the design of the house. Any storage tanks must be concealed within the service yard or buried and may not be visible from the street.

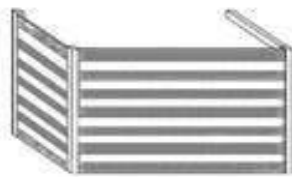
5.15.8 Air conditioning

Air conditioning units must be well concealed and not visible from the street. Where the units are installed at the first floor, external condenser units must be installed at ground level. Units must preferably be mounted and contained within the service yard, but if not, must be concealed.

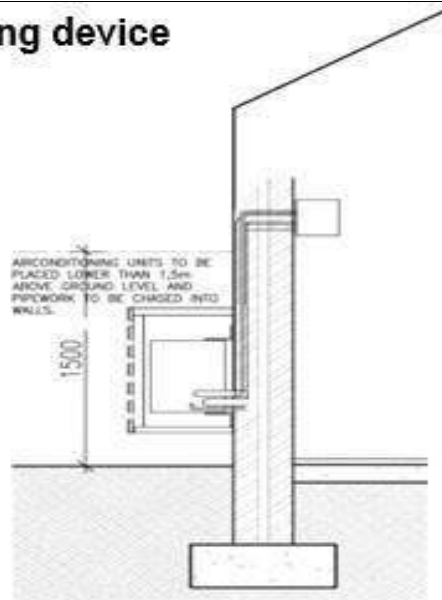
The proposed material to be used are sections of aluminium painted (or epoxy) the colour of the house, or alternatively Everite Flexit board (same material as the sheet directly below the edge of a roof used to mount gutters against), also painted as above. Whether aluminium or Flexit, all sections must be mounted against a light steel frame which is secured to the walls. The steel frames should be painted to match the walls.

Please note: no Breeze-Air type air conditioners will be allowed in the Villages.

Airconditioner screening device



Perspective view



Sectional view



Actual installation example

Where the air-conditioning unit is positioned within a yard i.e. not visible from any view, there is no requirement to employ the screening device.

- a) Aircons of New Builds to be included in the initial planning progress; aircon piping must be concealed within the external walls.
- b) If air conditioners are installed as an Addition or Alteration after the building has been completed and it is no longer possible to accommodate the piping within the cavity walls, all trunking to go up to the underside of fascias (please refer picture sample below).



- c) In addition, in order for the air conditioning condenser units to be compliant, the following is required:
 - Ensure that any horizontal trunking is installed, not exceeding 500 mm above ground level as far as possible, in order to minimize visible trunking, leaving only vertical trunking exposed;
 - Paint the trunking the same colour as the exterior wall paint colour;
 - Screen the condenser units to Design Control specifications, should they not be completely hidden from street view by either Yard Walls, Boundary Walls or Picket Fencing.

Condenser units placed on flat roof structures must be concealed from street level behind a parapet wall. The positioning of the condenser unit is to be approved by the ARC prior to installation.

5.15.9 Car ports

No carport structures are allowed. Pergolas may not be constructed unless plans have been submitted and approved by the ARC.

5.15.10 House Numbers

Signage and house numbers may be no larger than 75mm high and 60mm wide and of the “Bookman Old Style” font to be positioned next to the main entrance door 1800mm above finished floor level.

5.15.11 Sun Screening Devices Roller Blinds

The only type allowed is the SOLARA OUTPERFORM 95; COLOUR 3500 P-001 LINEN. No blinds with inserted plastic 'windows' will be allowed. Only roller blinds supported by fixed railing will be allowed.

Wooden decks are permitted; however, if the deck is higher than 500mm above natural ground level (NGL), the supporting structure should not be visible. A plan will need to be submitted to the ARC for approval.

5.15.12 **Security Cameras**

Externally mounted security cameras are not permitted.

5.15.13 **Rainwater Tanks**

Rainwater harvesting tanks are allowed where practical. They are to be placed in the yard only (i.e. not on the street elevation) and be boxed in with a screen/well concealed from view.

If there **is no room** within yard and can only be housed on street elevation, it should be screened off with a picket fence.

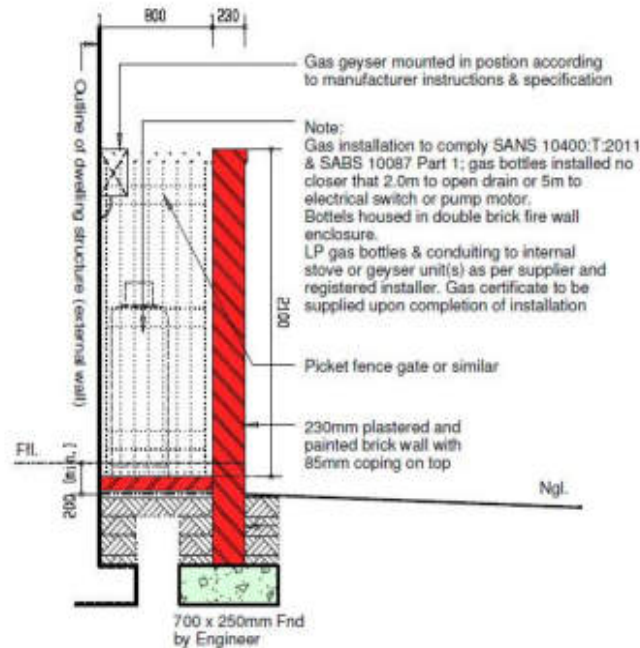
Shape: Tanks are to be square, rectangular or round.

Colour: to be Charcoal = *Charcoal & Stormy Sky* or Tan = *Beige / Khaki Brown / Winter Grass* as per JOJO website

If the house is rented out, the owners of the house must mandate the installation.

Please note: a plan showing the tank's locality to the house to be submitted to the ARC. The applicant & professional must submit a site plan / floor plan + elevation(s) for ARC & Drakenstein Municipal approval.

5.15.14 **Gas Geyser Installations** (to be installed and screened per illustrations)



DETAIL: GAS ENCLOSURE STRUCTURE

- A 2.1m high wall to screen off all gas bottles and geyser pipe installations;
- The length of the wall will be decided per each site's status quo and in conjunction with ARC;
- The pipework of the geyser fittings to be neatly installed, as least visible as possible, or concealed in the dwelling wall to make them as least visible as possible;
- for in-between areas at neighbouring houses, the 'add-on' extension below the geyser must be installed to conceal all stop- cocks and/ or shut off devices;
- A picket fence and/or gate on street elevation will be required.



5.15.15 **Domestic staff quarters** will not be allowed in this estate under any circumstances.

5.15.16 **Trampolines:**

Trampolines to be installed in the backyard or in the ground; they should not be visible from the road.

Note: Installation and approval to be discussed and finalized by full Board of Trustees.

5.15.17 The following structures will be discouraged within this estate:

Please note: Special application will have to be made for approval by the Architectural Review Committee to install any of the below:

- Gazebos
- Jungle gyms and similar structures
- Wendy houses
- Greenhouses
- Other above-ground structures
- Free-standing post-boxes
- Bomas and Lapas

5.15.18 **GENERAL**

Any changes to the exterior of houses should be submitted to ARC and Drakenstein Municipal approval.

The decisions of ARC and the DFHOA are final and the home owners and/or his/her agents have no right to appeal. Additional meetings with ARC professionals are to be charged at current industry rates stipulated by their institutes.

6. DISCLAIMERS

This document is considered supplementary to the National Building regulations (NBR) and cannot take precedence. Should any provisions of this document be regarded as contrary to the Local Authority requirements, then the Local Authority requirements shall prevail, other than for the aesthetic or architectural approval.

This document is to be considered supplementary to the Diemersfontein Estate Home Owners' Constitution and cannot take precedence. Should any provisions of this document be regarded as contrary to the Diemersfontein Estate Home Owners' Constitution, then the Home Owners' Constitution shall prevail.



DIEMERSFONTEIN WINE & COUNTRY ESTATE

DIEMERSFONTEIN HOMEOWNERS' ASSOCIATION

BUILDING DEPOSITS, SCRUTINY and INSPECTION FEES for VILLAGE ERVEN

	NEW BUILDING PHASE 1 & 2	NEW BUILDING PHASE 3	MINOR ALTERATIONS	MAJOR ALTERATIONS, ADDITIONS & EXTENSIONS
SCRUTINY FEES <i>To check compliance with Architectural Design Controls</i>	R 3 500.00	R 1 500 (Scrutiny fee applicable for changes/deviations from standard plot and-plan drawings) (No scrutiny fee applicable for standard unchanged drawings)	R 2 500.00	R 3 500.00
BUILDING DEPOSIT	R 20 000.00	R 20 000.00	R 8 000.00	R 20 000.00
BUILDING INSPECTION FEES *	R 1 500.00 per inspection report (Ground Floor & Wall Plate) R 3000.00 per inspection report (Final Completion) <i>Minimum of three (3) Inspection Reports</i>	R 1 500.00 per inspection report (Ground Floor & Wall Plate) R 3000.00 per inspection report (Final Completion) <i>Minimum of three (3) Inspection Reports</i>	R 3000.00 per inspection report (Final Completion) R 1 500.00 per additional inspection report (if applicable) <i>Minimum of one (1) inspection report; additional inspections on ARC discretion</i>	R 1 500.00 per inspection report (Ground Floor & Wall Plate) R 3000.00 per inspection report (Final Completion) <i>Minimum of three (3) Inspection Reports</i>
RE- SUBMISSIONS	R3 500.00 per re-submission	R 3 500.00 per re-submission (Previously R 500 only)	R3 500.00 per re- submission	R3 500.00 per re- submission

* Please Note: **Excessive deviations** may cause an inspection report surcharge/additional fee.

- 1) All fees payable to DFHOA upon presentation of an invoice.

- 2) Scrutiny Fees are payable with Plan Approval Applications and must be fully paid before any plans will be scrutinised.
- 3) The Scrutiny Fee covers the cost for scrutinizing of plans and second phase approvals.
- 4) Building Deposit is payable before Site Handover can be done.
- 5) Building deposit is refundable, without interest, after successful Site Clearance to the satisfaction of the Architectural Review Committee of the DFHOA.
- 6) All fees described above are subject to review.
- 7) Building Penalty fee DURING & AFTER CONSTRUCTION for DEVIATIONS from the approved plan and/or non-submission of revised plans and/or as built: **R 7 500.00** .
- 8) Penalty fee for TAKING OCCUPATION without Occupancy certificate from the Drakenstein Municipality: To a maximum of **R 25 000.00**.
- 9) If Scrutiny Fees are not been paid, the DFHOA will retrieve it by deducting the amount from the building deposit or raise it on the owner's levy account.
- 10) The building application decisions of the ARC and DFHOA are final and the home owners and/or his/her agents have no right to appeal. Additional meetings with ARC professionals are to be charged at current industry rates stipulated by their institutes.
- 11) Home Owners do have the right to appeal penalty fees/fines, which will be considered based on dates and facts as reviewed by ARC and finalised at the discretion of the trustees, where after it will be considered as final.

I understand and accept the full terms and conditions of the Fees' Structure.

OWNER

DATE

REPRESENTATIVE OF DFHOA

DATE